

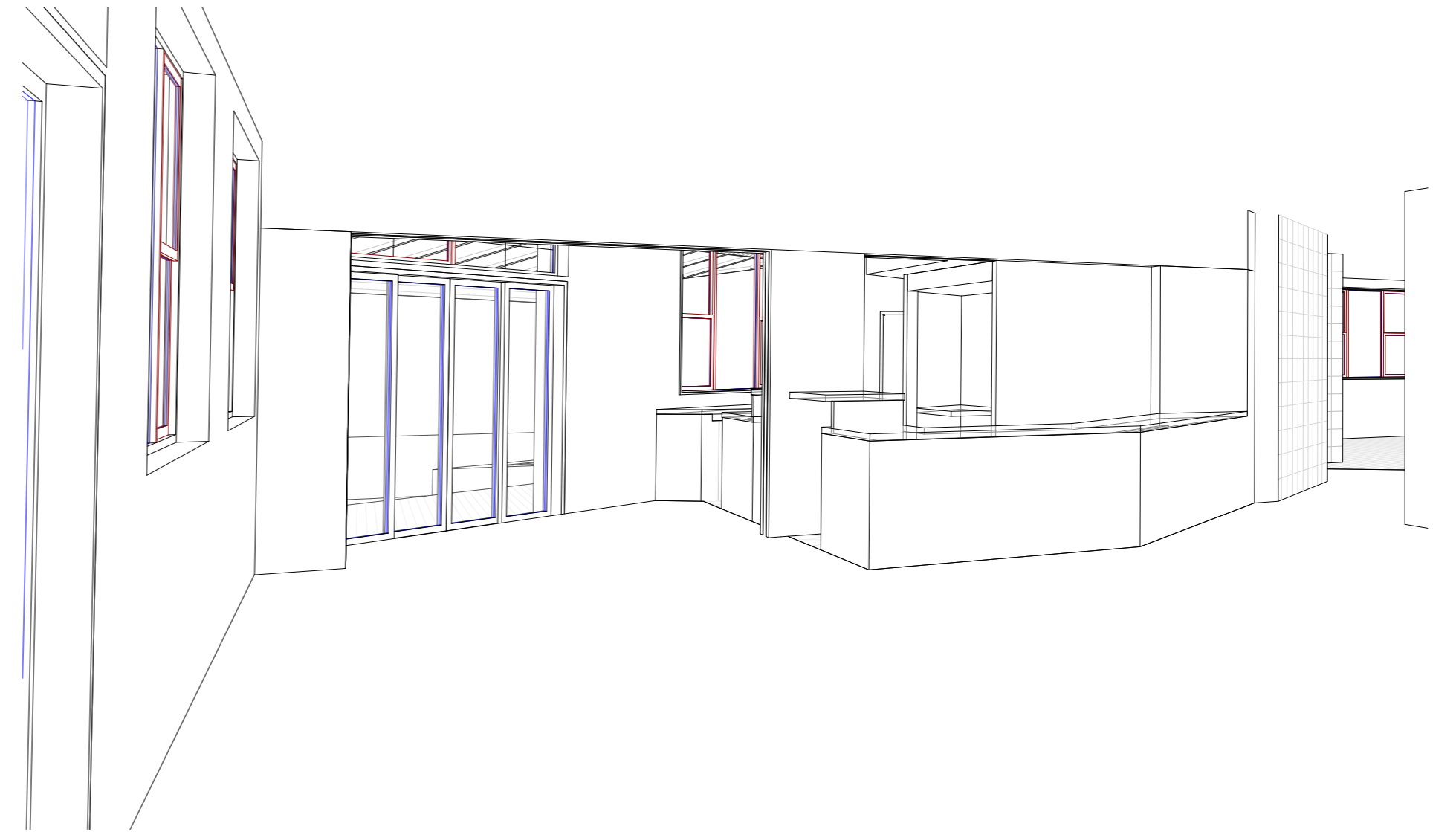
Tahnee Forbes
Shire of Boddinton

SITE ADDRESS:

12 Bannister Road,
Boddington WA 6390
Shire of Boddington

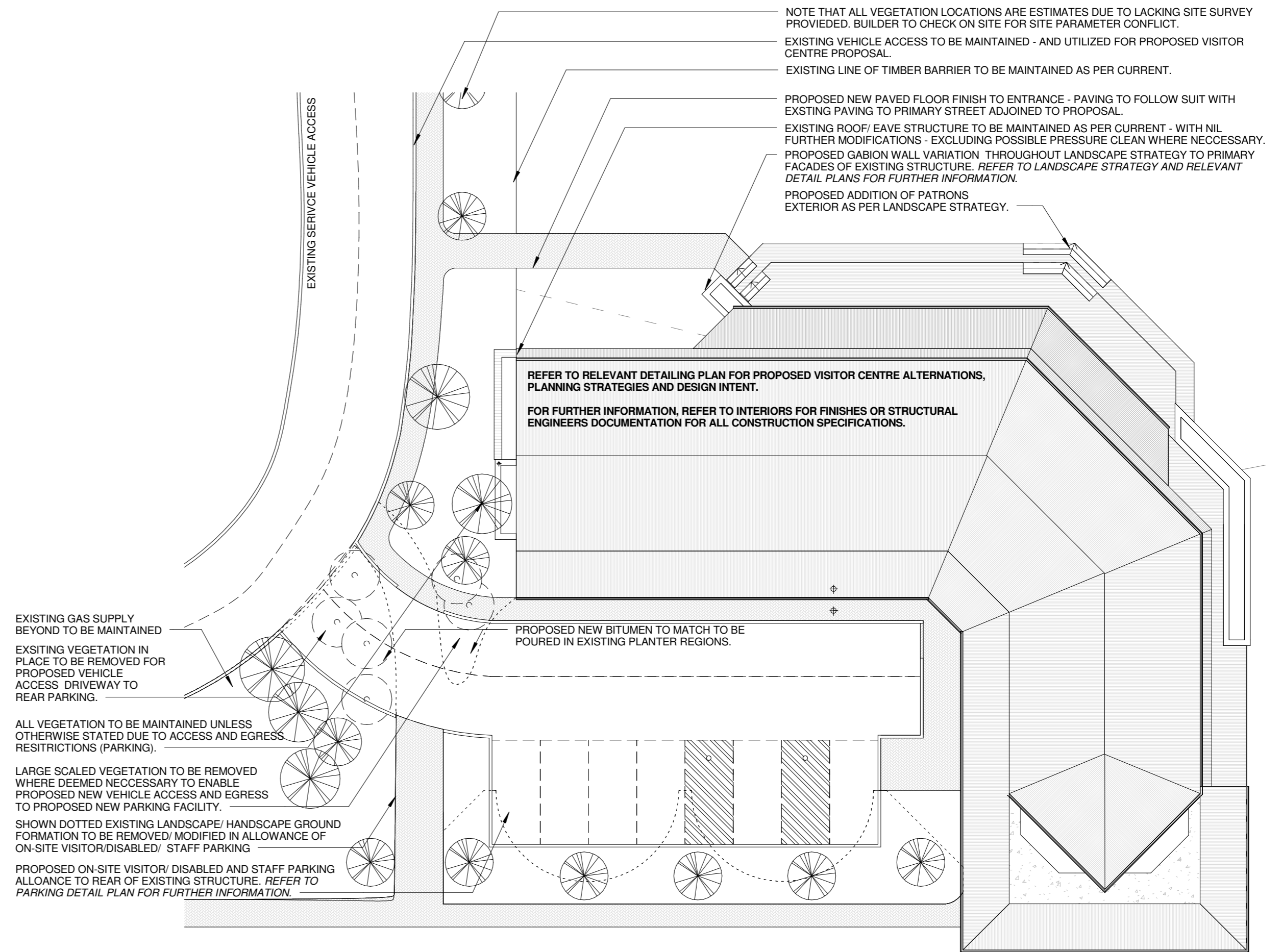
PROJECT NUMBER:

1409



ARCHITECTURAL SHEET SET

- A 1 0 1 PROPOSED GROUND PLAN
- A 1 0 2 PROPOSED LIBRARY DETAILING
- A 1 0 3 PROPOSED COMMON ROOM DETAIL PLAN
- A 1 0 4 PROPOSED COMMON ROOM DETAILING
- A 1 0 5 PROPOSED INTERPRETIVE DETAIL PLAN
- A 1 0 6 PROPOSED CAFE DETAILING
- A 1 0 7 PROPOSED REFLECTED CEILING PLAN
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- A 1 1 1 PROPOSED PATRONS EXTERIOR DETAIL PLAN
- A 1 1 2 PROPOSED GABION RETAINER DETAIL PLAN
- A 1 1 3 PROPOSED REAR PARKING PLAN
- A 1 1 4 PROPOSED GRID STRUCTURAL PLAN
- A 1 1 5 PROPOSED PATIO DETAIL PLAN
- A 1 1 6 PROPOSED LANDSCAPE SECTIONS
- A 1 1 7 PROPOSED FACADE ELEVATIONS
- A 1 1 8 PROPOSED FACADE ELEVATIONS
- A 1 1 9 PROPOSED DOOR AND WINDOW SCHEDULE

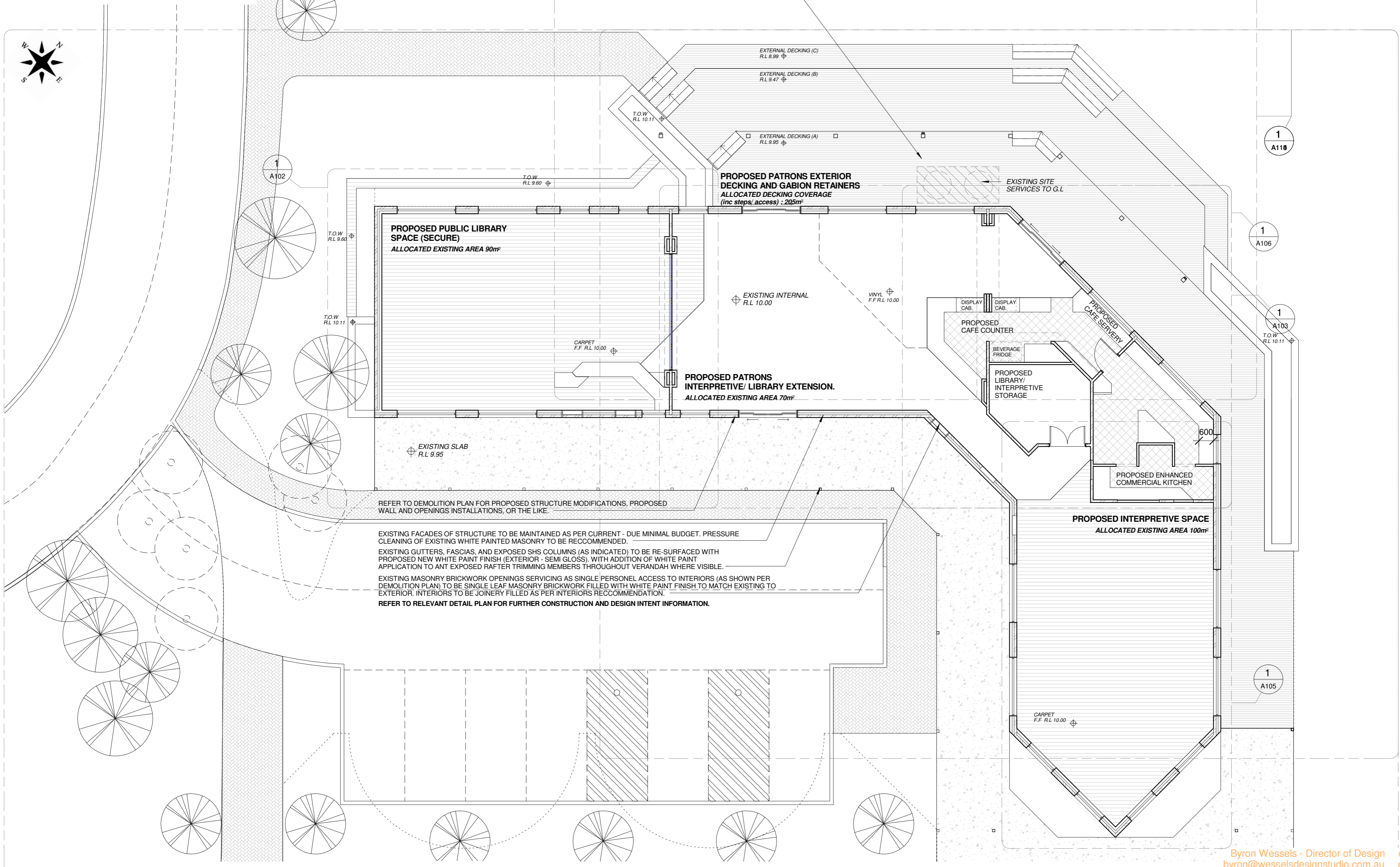


1 PROPOSED GROUND PLAN

1 : 100



PROPOSED NEW 150x150mm TREATED PINE WITH WHITE PAINT FINISH COLUMNS AS FOUNDATION ELEMENTS TO PROPOSED NEW FIXED SHADE STRUCTURE - REFER TO RELEVANT DETAILING FOR FURTHER INFORMATION.



REFER TO DEMOLITION PLAN FOR PROPOSED STRUCTURE MODIFICATIONS, PROPOSED WALL AND OPENINGS INSTALLATIONS, OR THE LIKE.

EXISTING FACADES OF STRUCTURE TO BE MAINTAINED AS PER CURRENT - DUE MINIMAL BUDGET. PRESSURE CLEANING OF EXISTING WHITE PAINTED MASONRY TO BE RECOMMENDED.

EXISTING GUTTERS, FASCIAS, AND EXPOSED SHS COLUMNS (AS INDICATED) TO BE RE-SURFACED WITH PROPOSED NEW WHITE PAINT FINISH (EXTERIOR - SEMI GLOSS). WITH ADDITION OF WHITE PAINT APPLICATION TO ANT EXPOSED RAFTER TRIMMING MEMBERS THROUGHOUT VERANDAH WHERE VISIBLE.

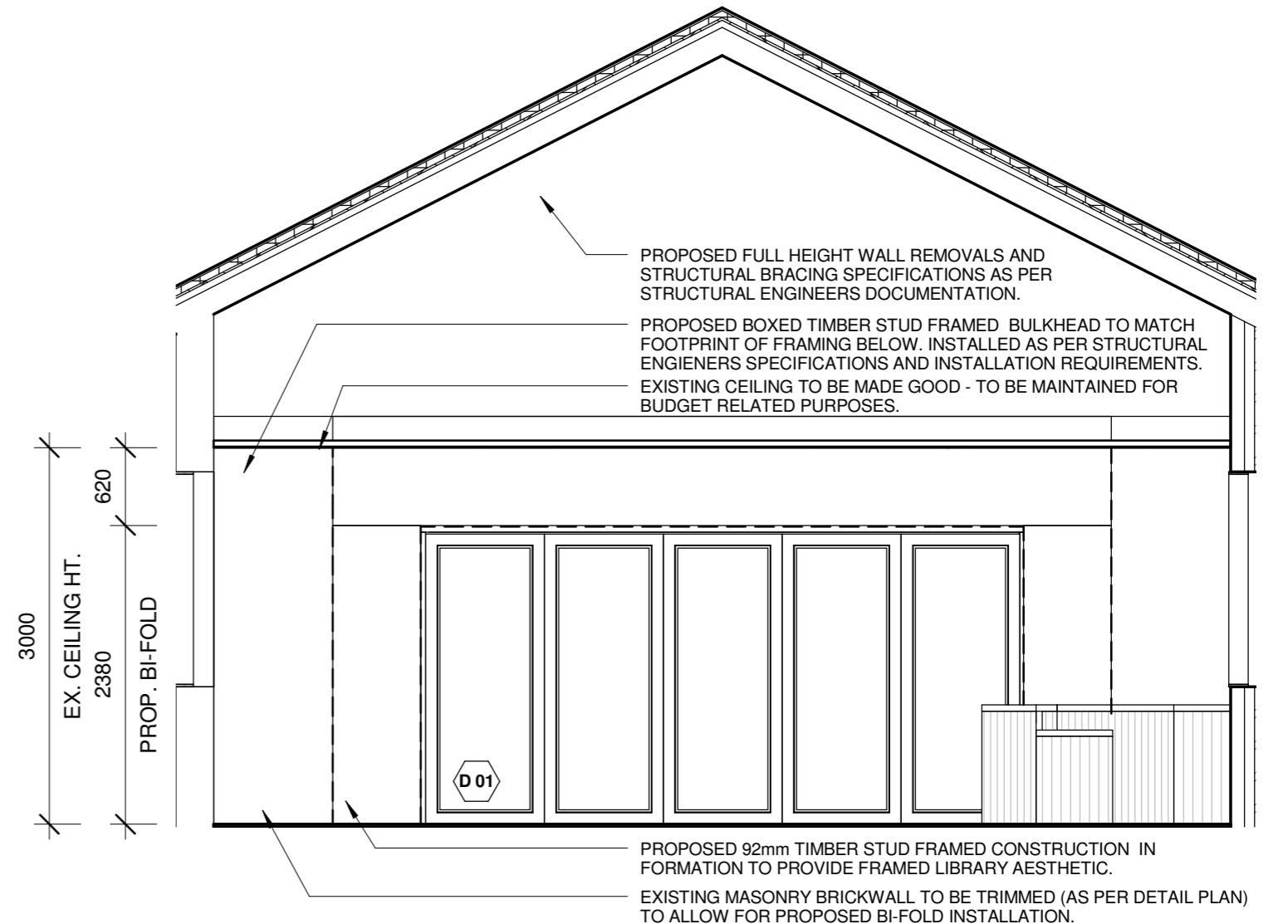
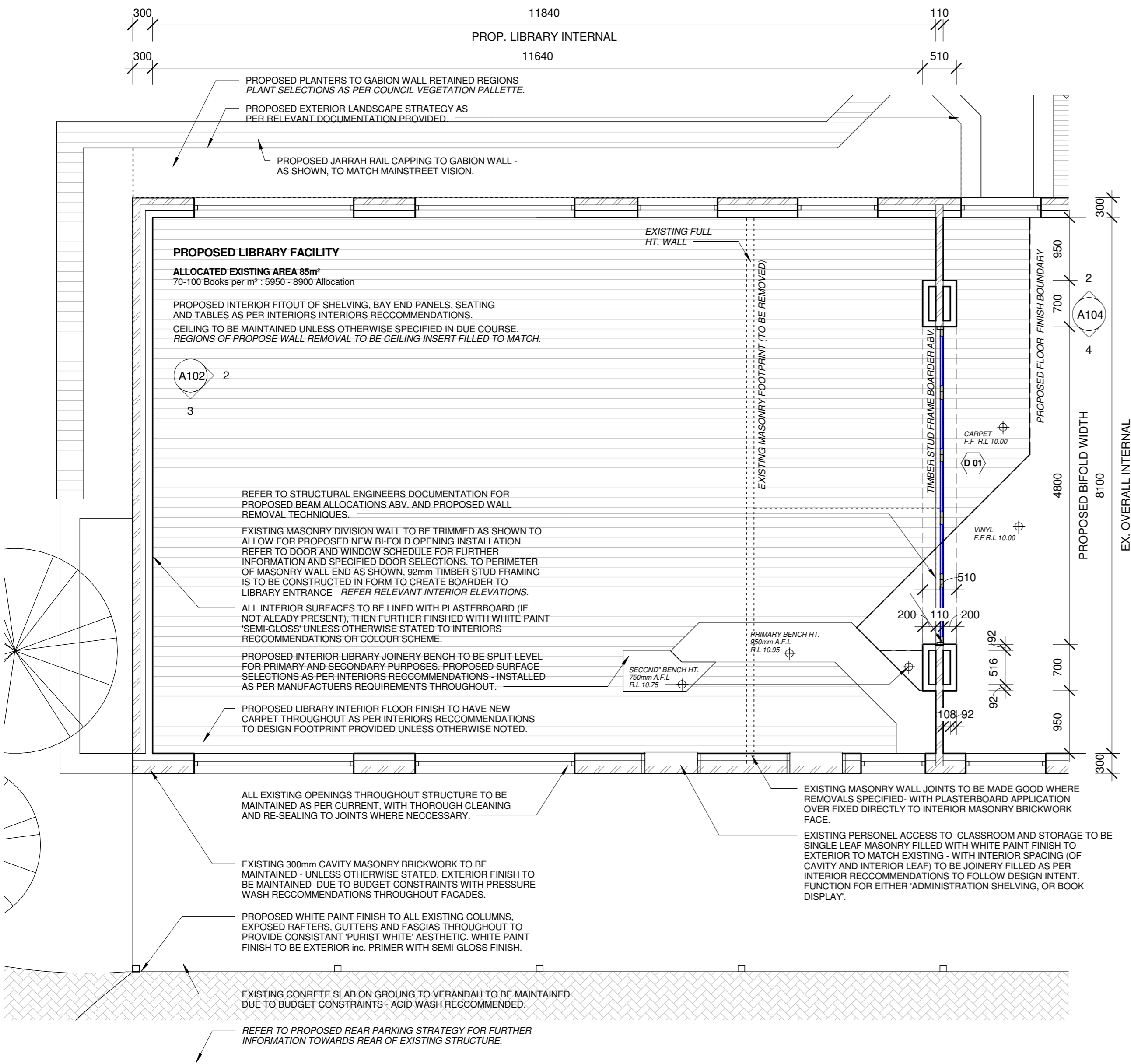
EXISTING MASONRY BRICKWORK OPENINGS SERVICING AS SINGLE PERSONEL ACCESS TO INTERIORS (AS SHOWN PER DEMOLITION PLAN) TO BE SINGLE LEAF MASONRY BRICKWORK FILLED WITH WHITE PAINT FINISH TO MATCH EXISTING TO EXTERIOR. INTERIORS TO BE JOINERY FILLED AS PER INTERIORS RECOMMENDATION.

REFER TO RELEVANT DETAIL PLAN FOR FURTHER CONSTRUCTION AND DESIGN INTENT INFORMATION.



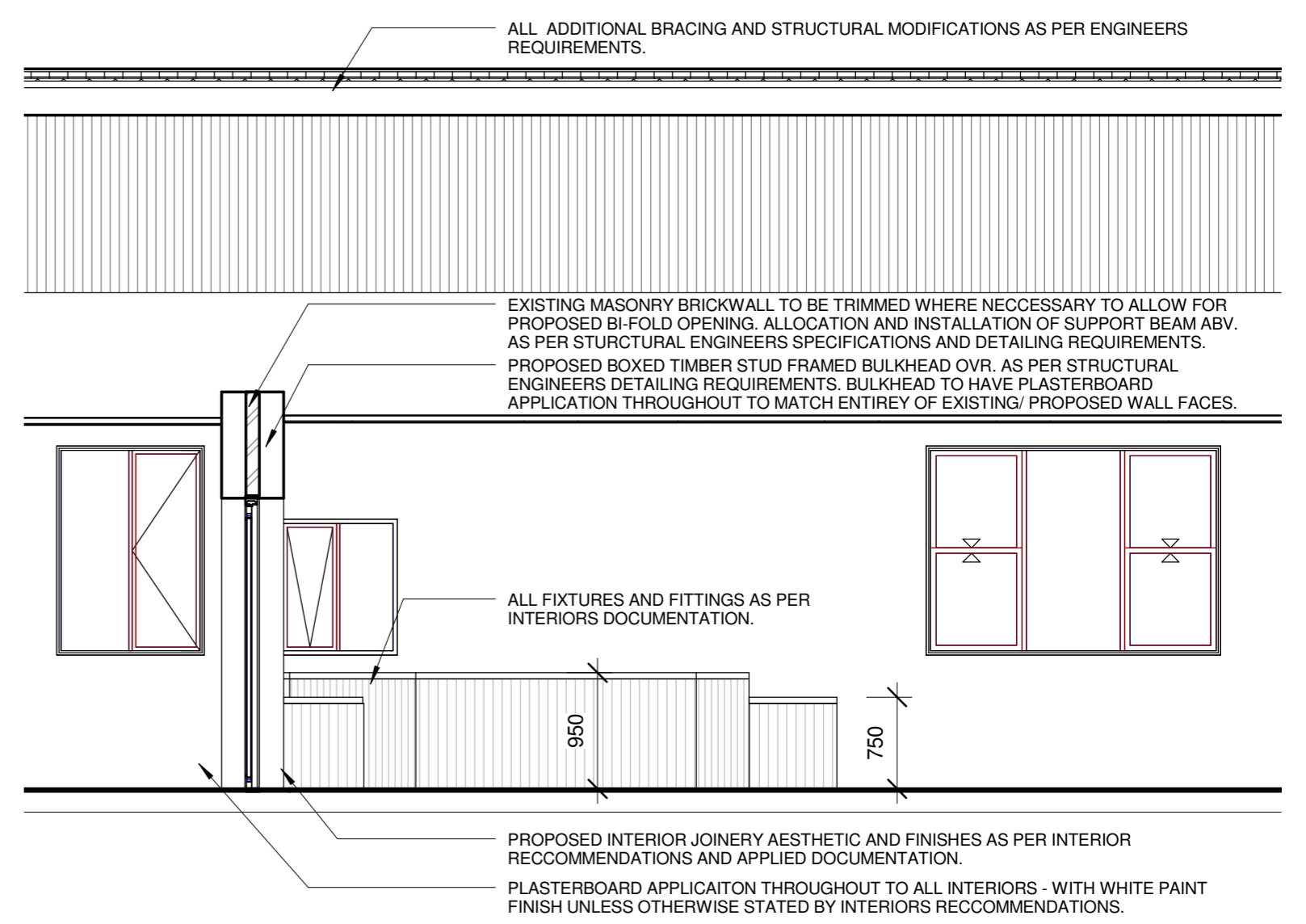
1 PROPOSED LIBRARY DETAIL

1:50



2 Library Interior Elevation A

1:50



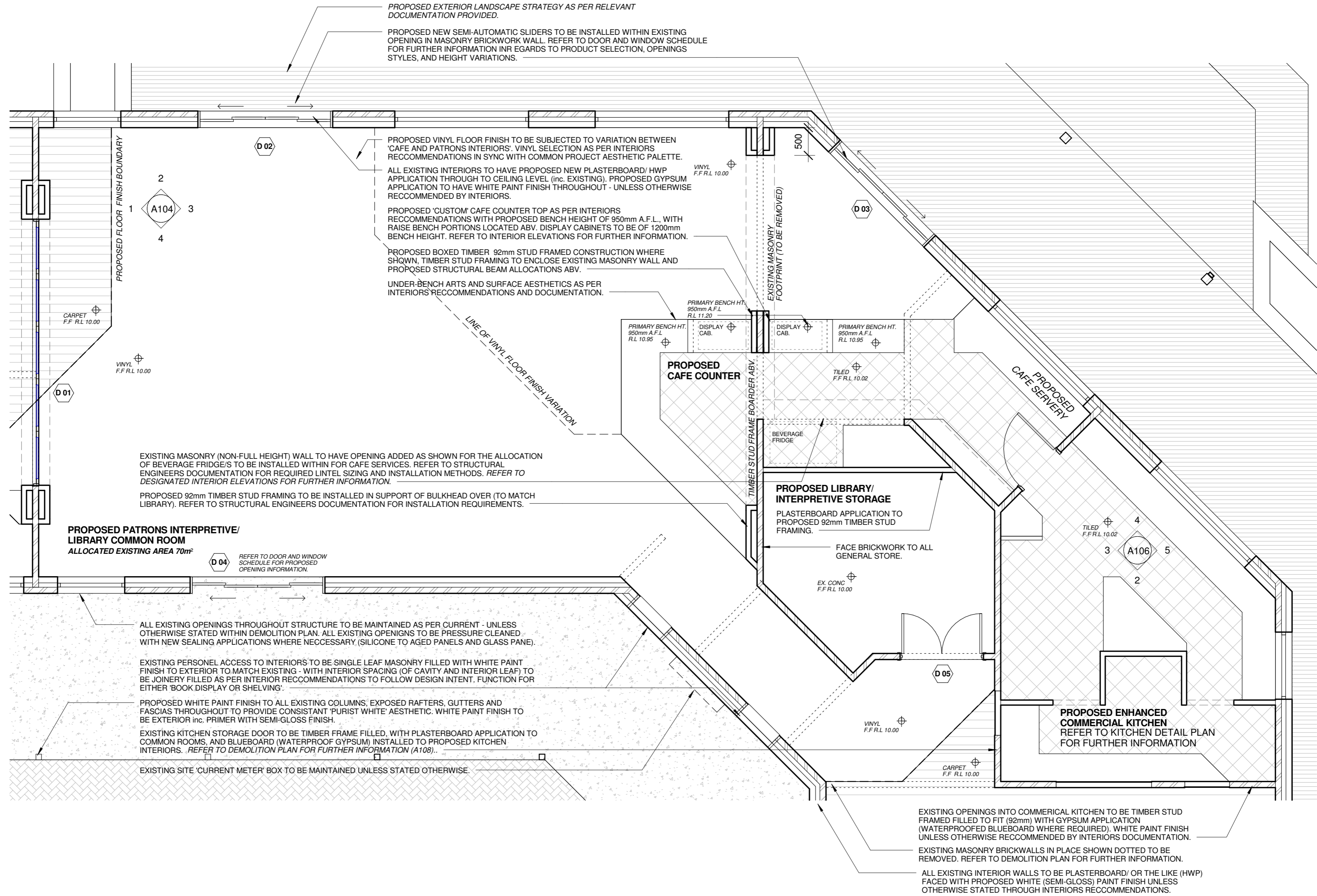
3 Library Interior Elevation B

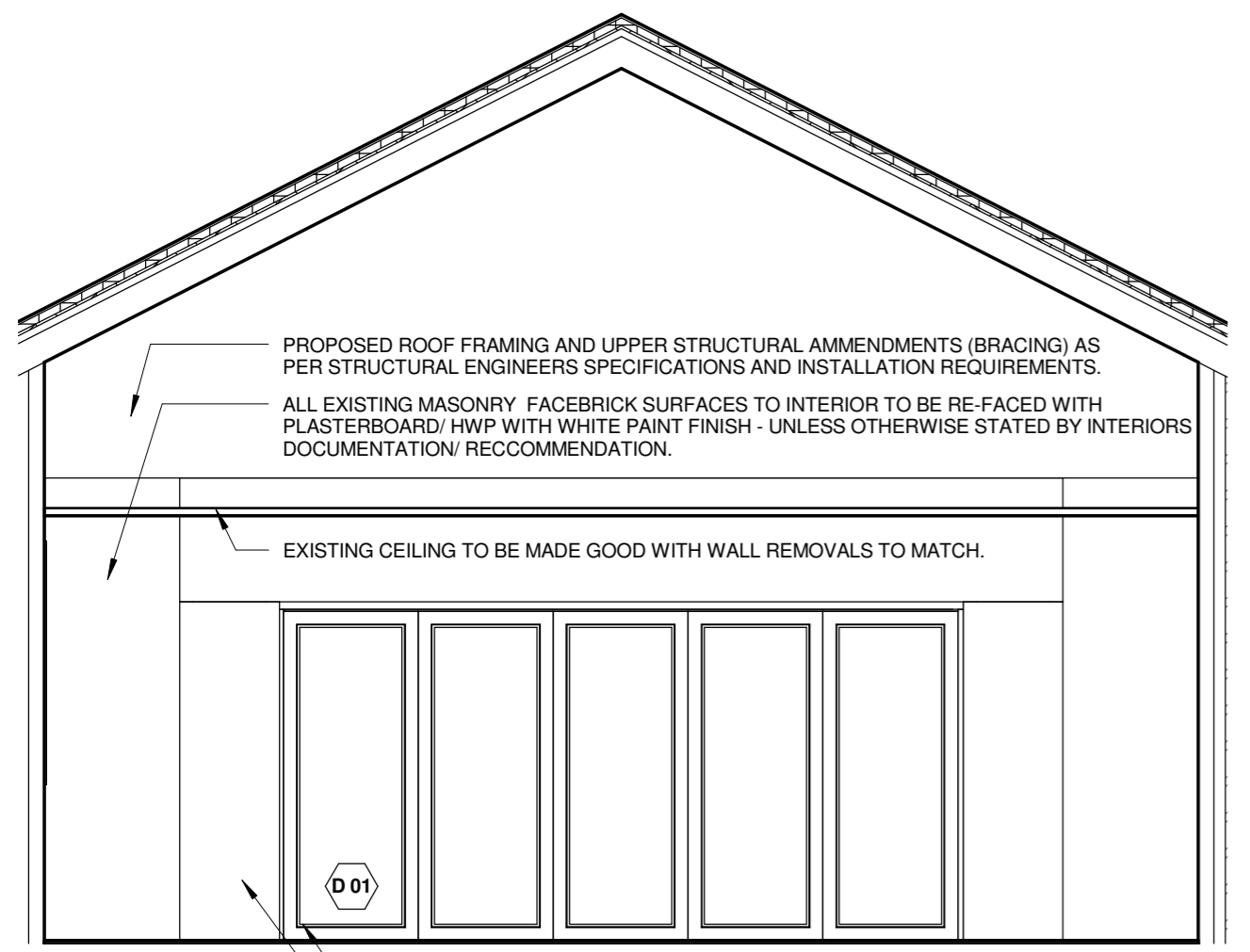
1:50



1 PROPOSED COMMON DETAIL

1 : 50

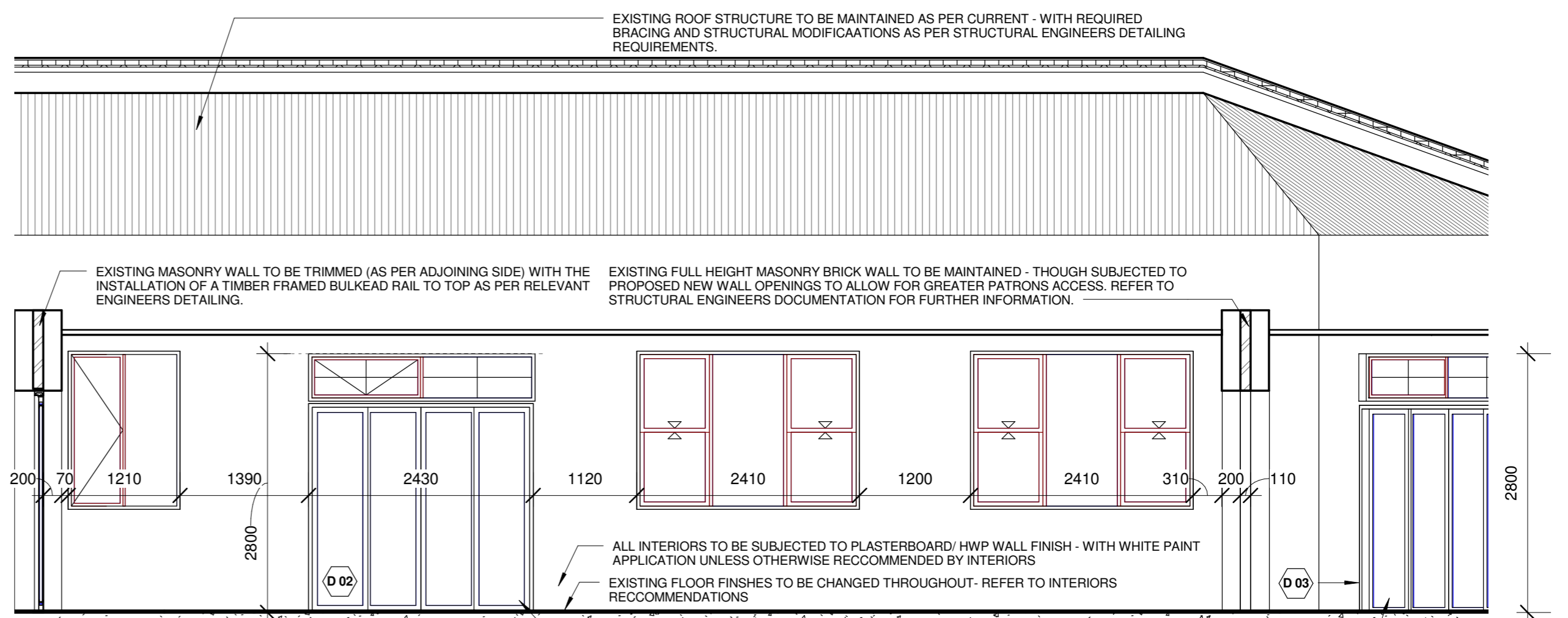




REFER TO DOOR AND WINDOW SCHEDULE FOR FURTHER SPECIFICATION INFORMATION.
ALL PROPOSED TIMBER STUD FRAMED CONSTRUCTIONS, OR BULKHEADS OF THE LIKE TO BE FACED WITH PLASTERBOARD APPLICATIONS WITH WHITE PAINT FINISH THROUGHOUT - UNLESS OTHERWISE INDICATED BY INTERIORS.

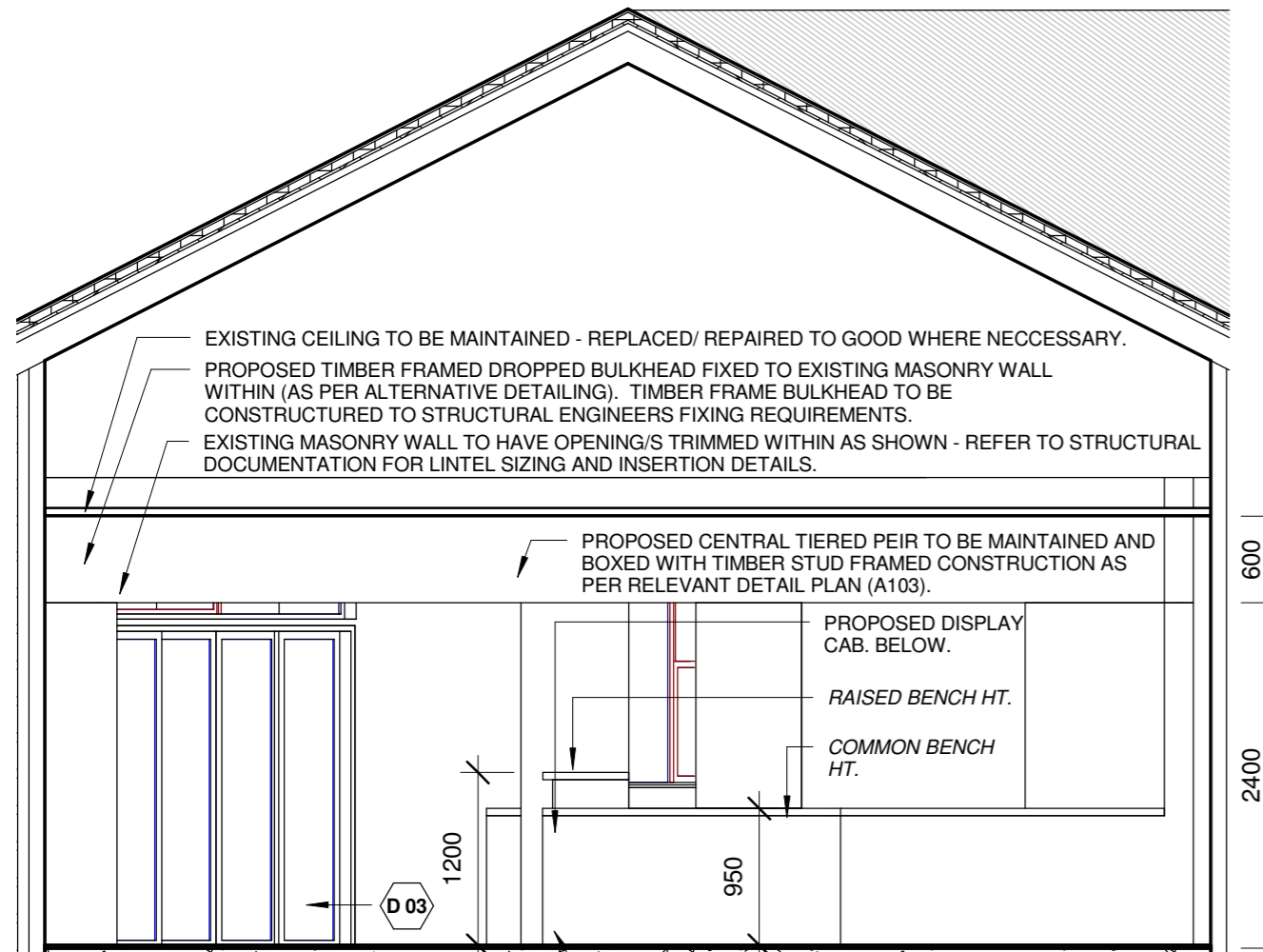
Common Interior

1 Elevation A
1:50



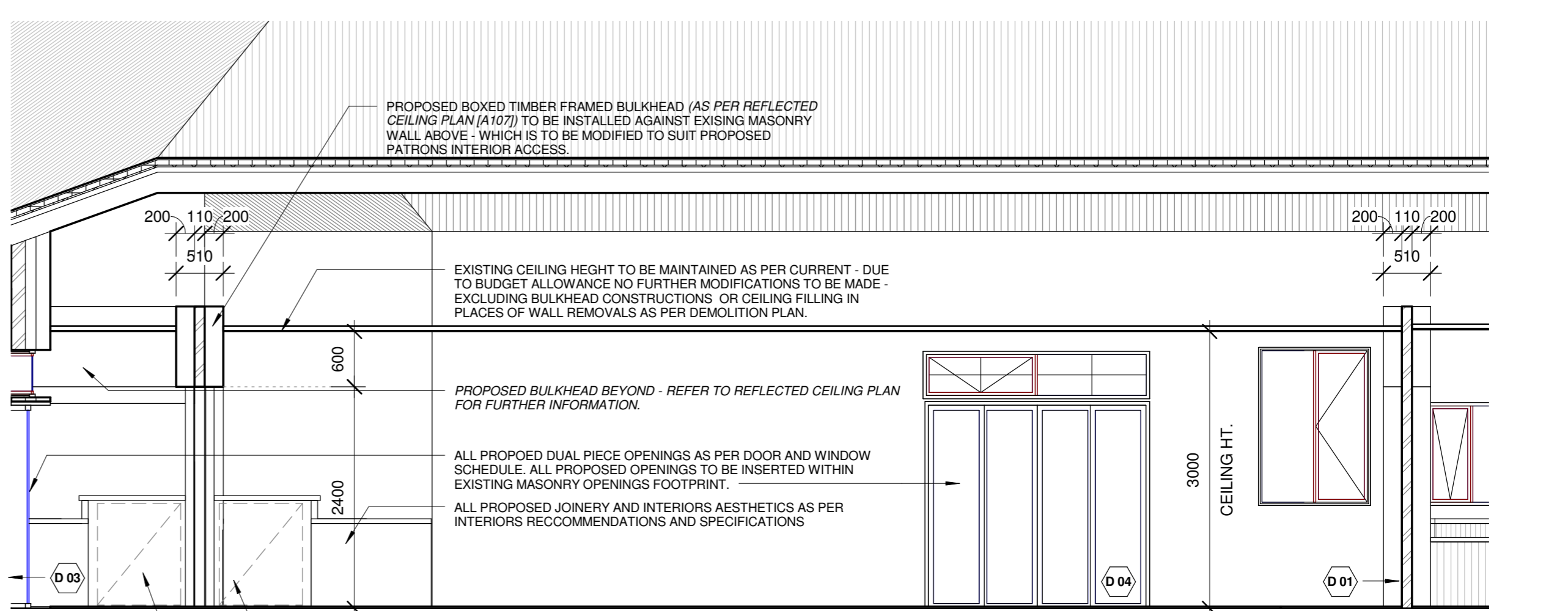
Common Interior

2 Elevation B
1:50



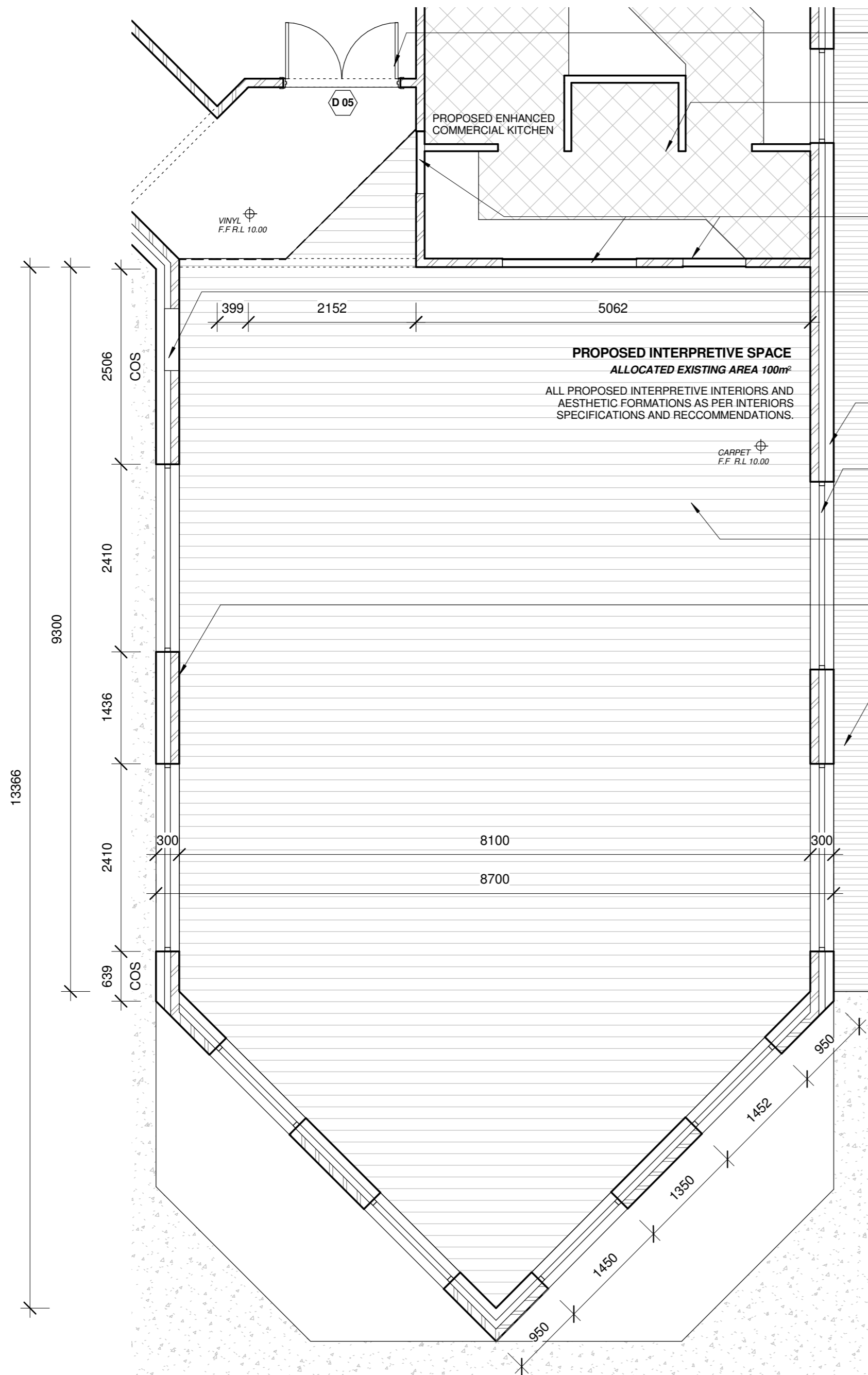
Common Interior

3 Elevation C
1:50



Common Interior

4 Elevation D
1:50



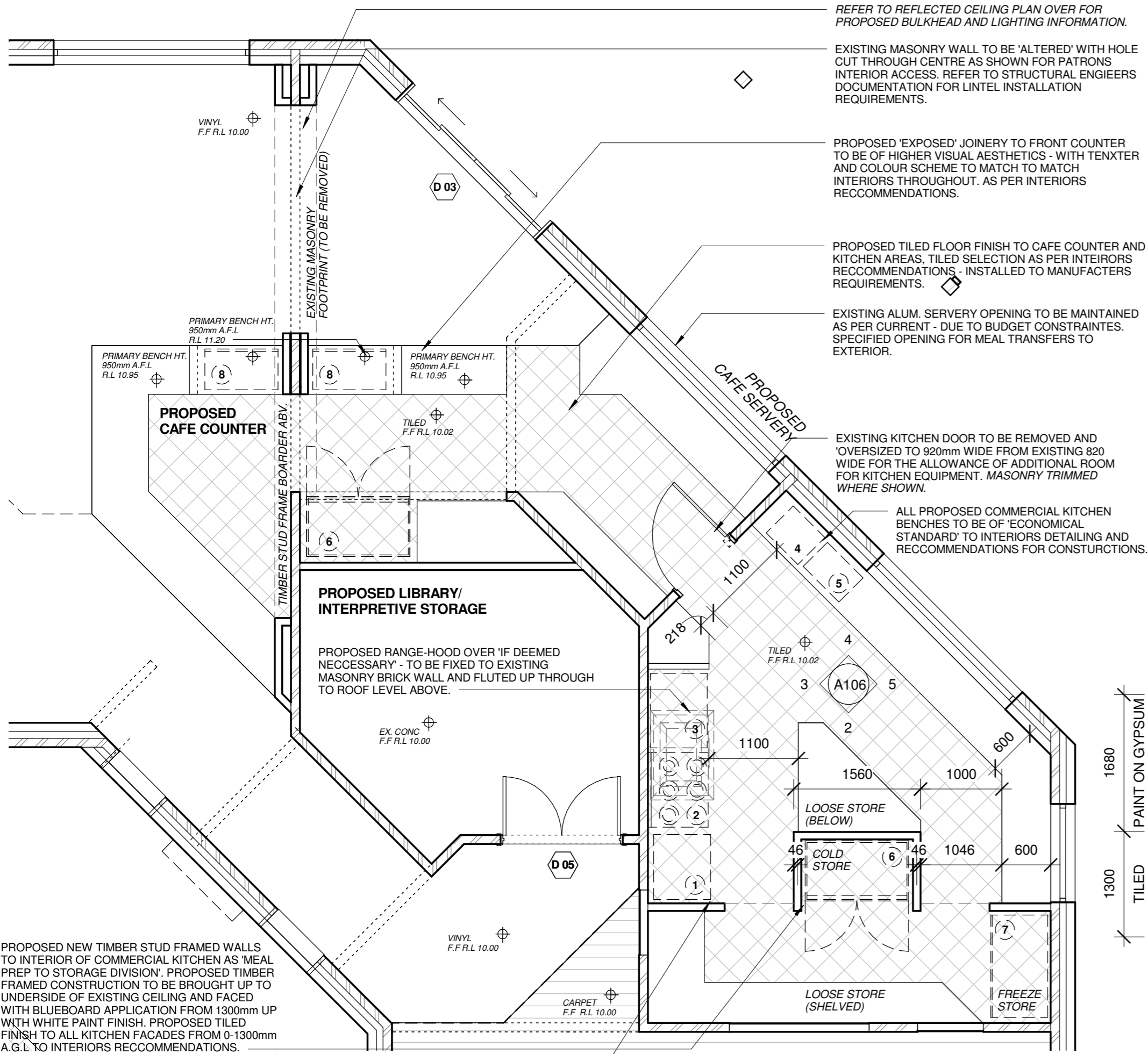
- PROPOSED NEW SIMPLE 'SOLID CORE' TIMBER FRAMED DOORS TO BE INSTALLED WITHIN EXISTING MASONRY BRICKWALL - AS PER DEMOLITION STRATEGY. DOOR TO BE SUBJECTED TO WHITE PAINT FINISH TO MATCH - INSTALLED AS PER STRUCTURAL ENGINEERS RETROSPECTIVE INSTALLATION INSTRUCTIONS.
- REFER TO CAFE DETAIL PLANNING AND KITCHEN INTERIOR ELEVATIONS - FOR FURTHER DETAILED INFORMATION.
- EXISTING OPENINGS WHERE SHOWN TO BE TIMBER STUD FRAME FILLED (92mm), WITH THE INSTALLATION OF GYPSOCUM PLASTERBOARD TO THE INTERPRETIVE INTERIORS, AND BLUEBOARD - OR THE WEATHERPROOFING LIKE TO BE INSTALLED AT KITCHEN INTERIORS. WHITE PAINTED FINISH THROUGHOUT - UNLESS OTHERWISE STATED UNDER INTERIORS RECOMMENDATIONS.
- EXISTING PERSONEL ACCESS TO CLASSROOM TO BE SINGLE LEAF MASONRY FILLED WITH WHITE PAINT FINISH TO EXTERIOR TO MATCH EXISTING - WITH INTERIOR SPACING (OF CAVITY AND INTERIOR LEAF) TO BE JOINERY FILLED AS PER INTERIOR RECOMMENDATIONS TO FOLLOW DESIGN INTENT. FUNCTION FOR EITHER 'ADMINISTRATION SHELVEING, OR BOOK DISPLAY'.
- ALL EXTERIORS TO EXISTING STRUCTURE TO BE MAINTAINED AS WHITE PAINTED FACE BRICK - WITH NIL PROPOSED NEW PAINT APPLICATION DUE TO BUDGET RELATED PURPOSES. THOUGH, EXISTING WHITE PAINTED MASONRY FACE-BRICK TO BE PRESSURE CLEANED AND MADE GOOD TO DESIGNERS SATISFACTION.
- ALL EXISTING OPENINGS TO BE MAINTAINED UNLESS OTHERWISE STATED FOR REMOVAL, OR THE LIKE. ALL EXISTING OPENINGS TO BE CLEANED AND RE-SEALED WHERE NECESSARY WITH NEW SILICONE FOR INFILTRATION PURPOSES.
- PROPOSED CARPET FLOOR FINISH APPLICATION THROUGHOUT TO INTERIORS RECOMMENDATIONS - UNLESS OTHERWISE STATED. PROPOSED CARPET, IN LIKE WITH ALL INTERNAL FINISHINGS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
- ALL PROPOSED INTERIORS TO BE RE SURFACED WITH PROPOSED NEW PLASTERBOARD (GYPSUM WALL BOARD) THROUGHOUT OR THE LIKE (HARD WALL PLASTER). FINAL AESTHETICS TO BE SUBJECTED TO WHITE PAINT FINISH THROUGHOUT ALL WALL AND PROPOSED BULKHEAD SURFACES - UNLESS OTHERWISE STATED UNDER INTERIORS RECOMMENDATIONS.
- EXTERIOR ORIENTATED SURROUNDINGS TO BE MAINTAINED AS PER CURRENT DUE TO BUDGET ALLOWANCE - UNLESS OTHERWISE STATED THROUGH LANDSCAPE STRATEGY DETAIL PLAN.

1 PROPOSED INTERP. DETAIL
1:50



1 PROPOSED CAFE DETAIL

1:50



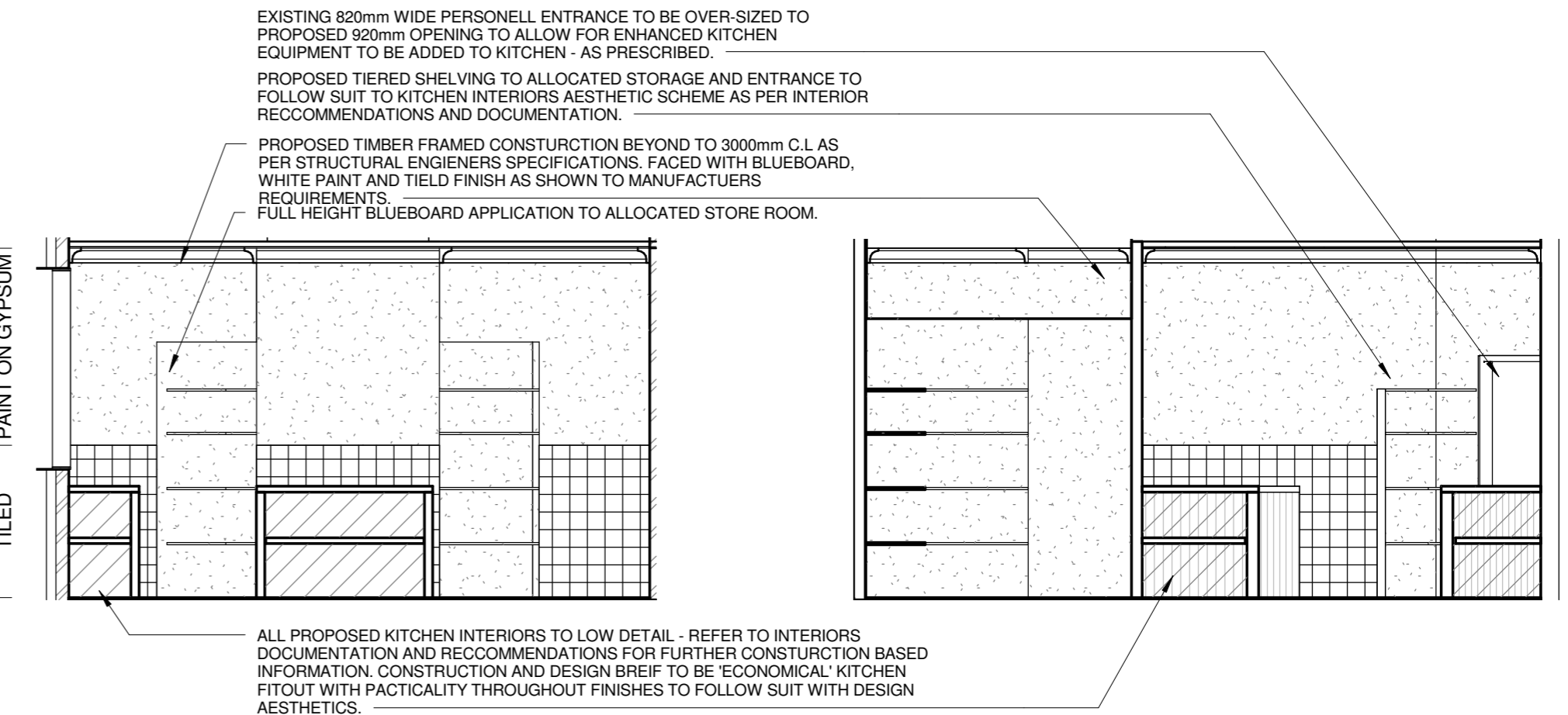
ALL PROPOSED KITCHEN ITEMS AS SPECIFIED WITHIN 'PROPOSED KITCHEN CONTENTS SCHEDULE'.

PROPOSED KITCHEN CONTENTS SCHEDULE

ALL PROPOSED KITCHEN EQUIPMENT SPECIFIED FROM CATERALL EQUIPMENT HIRE, ON THE BASIS ON PERMANENT OR SHORT TERM HIRES.

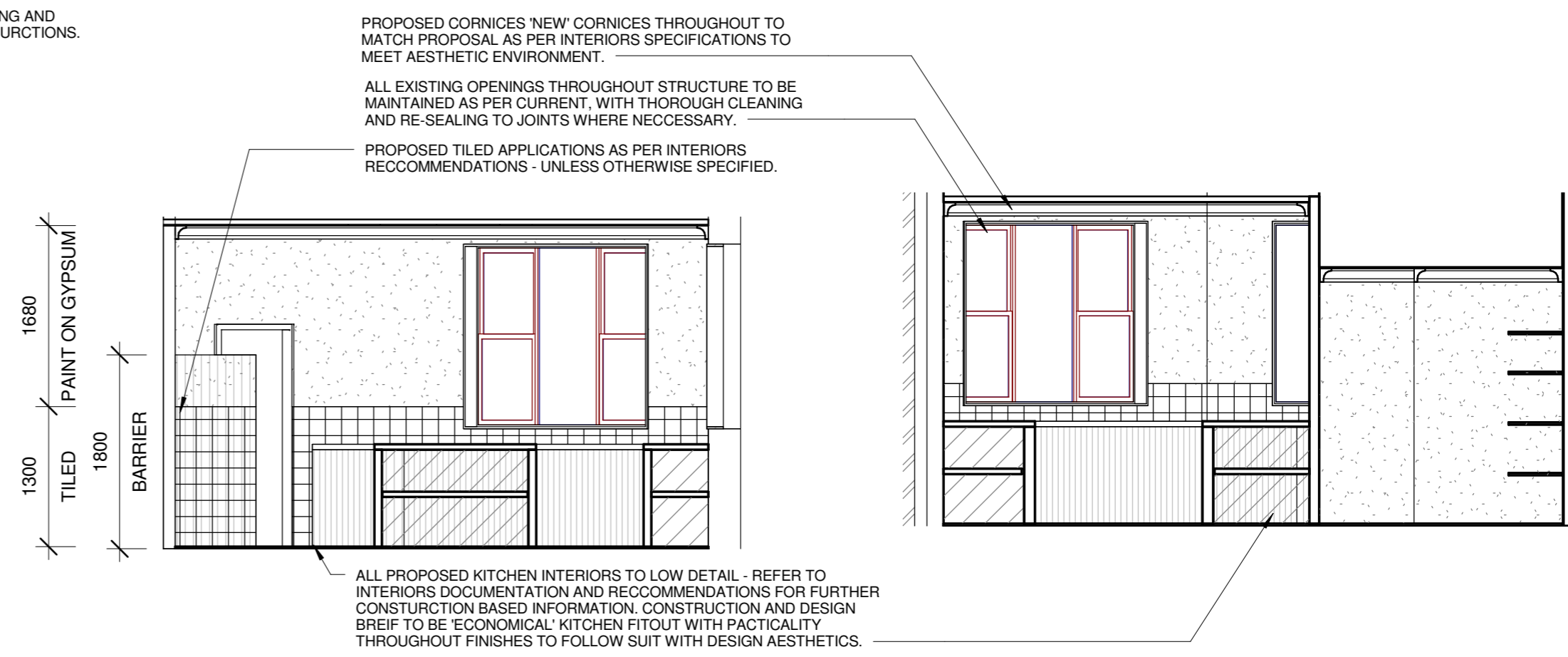
- | | |
|------------------------------------------------|--------------------------------------------|
| (1) ITEM 228: GRILL PLATE (5 BURNER) | (5) ITEM 102: BENCH FRYER (DOUBLE BASKET) |
| (2) ITEM 245/150: RANGE (6 BURNER) w/ OVEN | (6) ITEM 132: DISPLAY FRIDGE (DOUBLE DOOR) |
| (3) ITEM 112: CHARGRILL 900 | (7) ITEM 133: CHEST FREEZER (700 LITRE) |
| (4) ITEM 116: COMPRESSION TOASTER (DOUBLE BED) | (8) ITEM 138: CURVED GLASS CAKE FRIDGE |

http://www.caterall.com.au/uploaded/files/client_added/Caterall_Catalogue.pdf



2 Kitchen Interior Elevation A
1:50

3 Kitchen Interior Elevation B
1:50

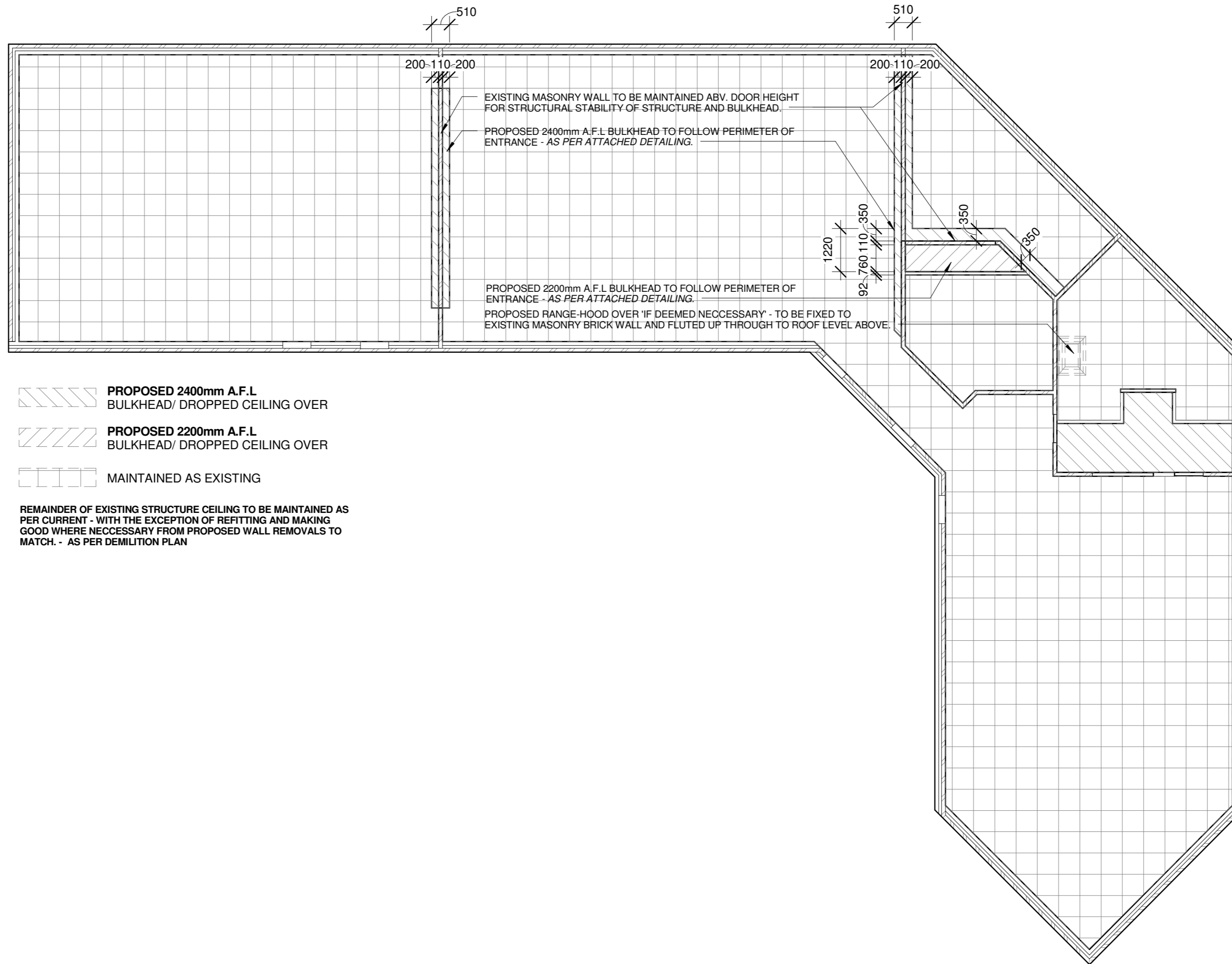



4 Kitchen Interior Elevation C
1:50


5 Kitchen Interior Elevation D
1:50



1 PROPOSED REFLECTED C.L.
1:100



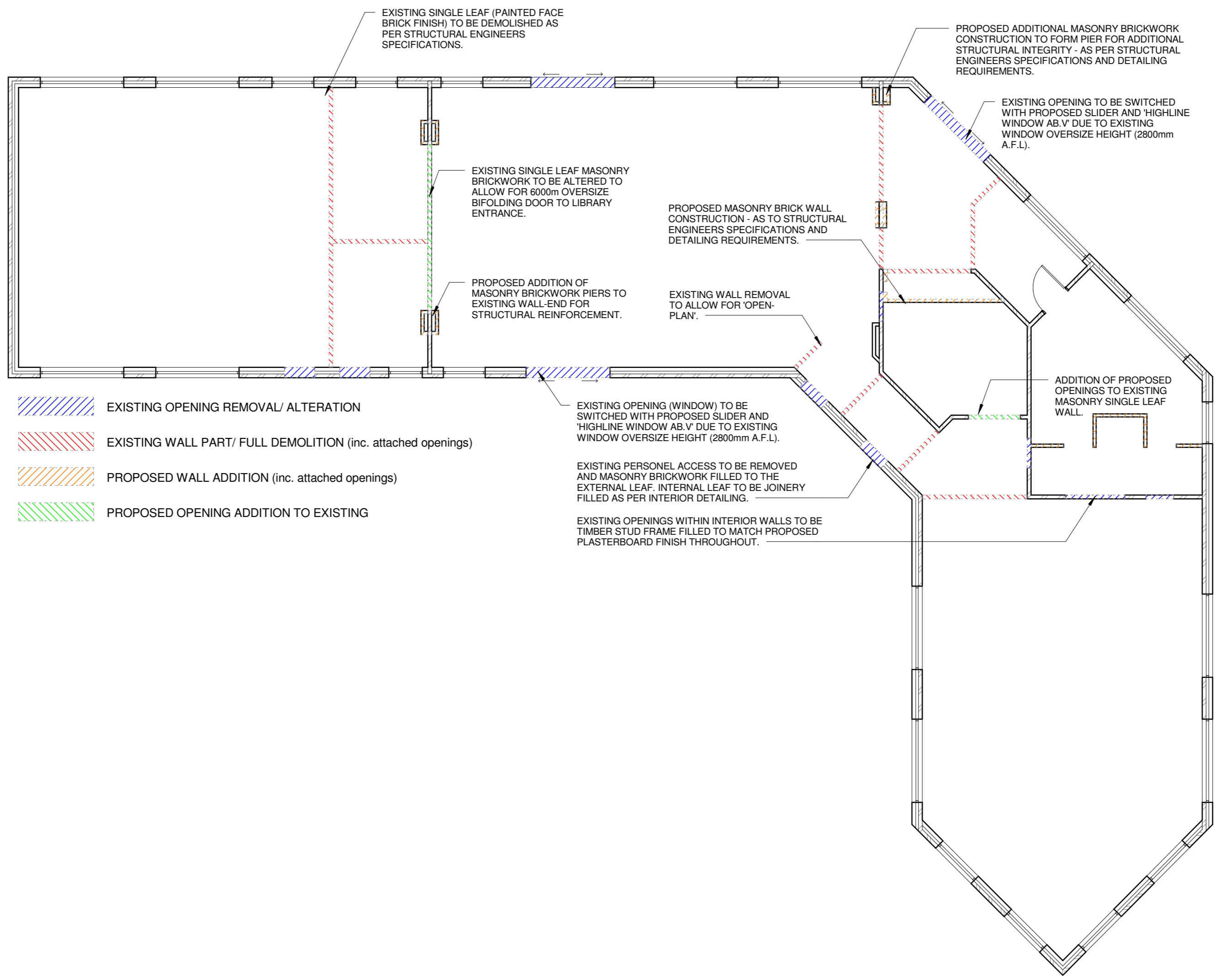
 PROPOSED 2400mm A.F.L BULKHEAD/ DROPPED CEILING OVER

 PROPOSED 2200mm A.F.L BULKHEAD/ DROPPED CEILING OVER

 MAINTAINED AS EXISTING

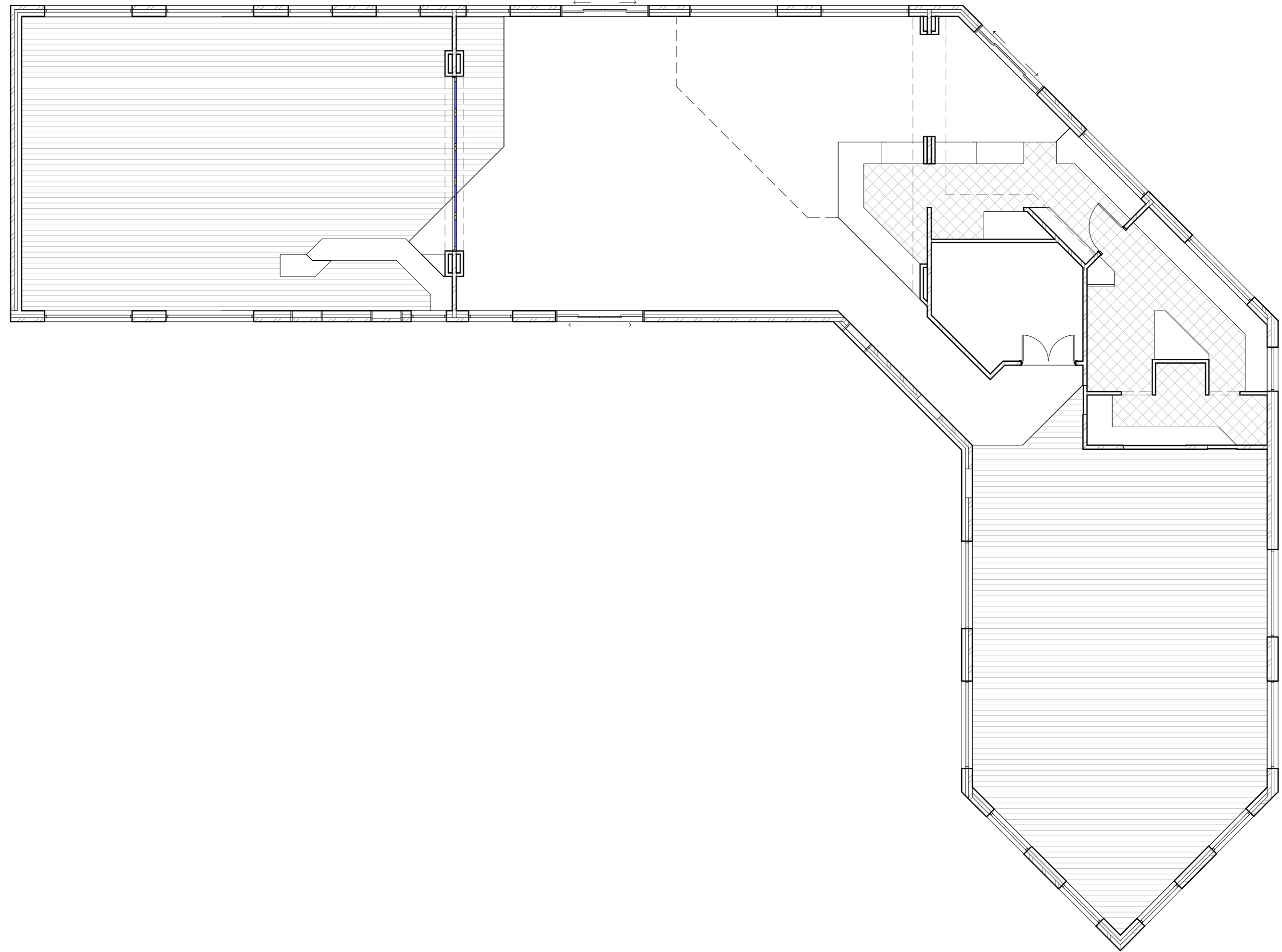
REMAINDER OF EXISTING STRUCTURE CEILING TO BE MAINTAINED AS PER CURRENT - WITH THE EXCEPTION OF REFITTING AND MAKING GOOD WHERE NECESSARY FROM PROPOSED WALL REMOVALS TO MATCH. - AS PER DEMILITION PLAN

1 PROPOSED DEMOLITION PLAN
1:100



PRELIMINARY ISSUE (TBC)

1 PROPOSED ELECTRICAL PLAN
1:100



EXISTING SERVICE VEHICLE ACCESS

REFER TO PARKING DETAIL PLAN FOR FURTHER INFORMATION (A112)

1
A112

PROPOSED PAVING TO ENTRANCE TO MATCH SHIRE OF BODDINGTON COMMON MASONRY BRICK PAVING TEMPLATE. PRIOR CONSTRUCTION - PATTEN AND BRICK TEMPLATE TO BE APPROVED BY DESIGNER.
PROPOSED LAWN FLOOR FINISH OR GRAVEL GENERAL LANDSCAPING TO BE LAID/ MAINTAINED.

EXTERNAL DECKING (C)
R.L. 9.99
PATRONS EXTERIOR DECK 'C'
OVERALL AREA :24m²

EXTERNAL DECKING (B)
R.L. 9.47
PATRONS EXTERIOR DECK 'B'
OVERALL AREA :60m²

EXTERNAL DECKING (A)
R.L. 9.95
PATRONS EXTERIOR DECK 'A'
OVERALL AREA :110m² (inc. side access)

FACES OF ALL DECKING ENDS TO BE ENCLOSED WITH JARRAH RAILS TO MATCH - AS PER STRUCTURAL ENGINEERS DETAILING.
ALL PROPOSED RISERS/ STEPS TO BE TIMBER FRAMED - WITH EXPOSED FINISHES TO MATCH PATRONS EXTERIOR DECK. TO BE CONSTRUCTED AS PER RELEVANT AS 1684.1 STANDARDS.
PROPOSED DECKING STRUCTURE REQUIRES NIL BALUSTRADES THROUGHOUT DUE TO NO FALLS GREATER THAN 500mm A.G.L DUE TO PLANTER PLACEMENT AND ENGAGEMENT. REFER LANDSCAPE SECTIONS FOR FURTHER INFORMATION.

PROPOSED PATRONS EXTERIOR DECKING STRUCTURE, WITH TREATED PINE SUB-FLOOR FRAMING AS PER DECKING STRUCTURAL PLAN - TO STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS. DECKING FINISH TO BE 75-100mm JARRAH RAILS WITH NATURAL STAIN THROUGHOUT TO MANUFACTURERS INSTRUCTIONS.

PROPOSED NEW 150x150mm TREATED PINE WITH WHITE PAINT FINISH COLUMNS TO AS FOUNDATION ELEMENTS TO PROPOSED NEW FIXED SHADE STRUCTURE.
PROPOSED TIMBER DECKING TO BE BUILT FLUSH TO PROPOSED GABION WALLS THROUGHOUT.
PROPOSED RETAINED GABION WALLED PLANTERS WITHIN.

PROPOSED NEW TREATED PINE SHADE STRUCTURE WITH WHITE PAINT FINISH TO ALL EXPOSED TIMBER FRAME UNDERSIDE ELEMENTS. ROOF SHEETING TO 14DEG. PITCH WITH ZINCULUME ROOF SHETING TO MATCH EXISTING STRUCTURE.
REFER TO SHADE STRUCTURE DETAIL PLAN (A115) FOR FURTHER INFORMATION.

EXISTING GUTTERS, FASCIAS, AND EXPOSED SHS COLUMNS (AS INDICATED) TO BE RE-SURFACED WITH PROPOSED NEW WHITE PAINT FINISH (EXTERIOR - SEMI GLOSS). WITH ADDITION OF WHITE PAINT APPLICATION TO ANT EXPOSED RAFTER TRIMMING MEMBERS THROUGHOUT VERANDAH WHERE VISIBLE.

ALL PROPOSED EXTERIOR RETAINERS / NIB WALL TO BE CONSTRUCTED WITH 300mm GABION WALL CONSTRUCTION TO FOLLOW SUIT WITH PROPOSED SHIRE OF BODDINGTON MATERIAL TEMPLATE. GABION WALL 'ROCKS' TO BE FROM BODDINGTON POINT OF ORIGIN, POSSIBLY DELIVERED FROM ASSOCIATED MINE - REFER TO STRUCTURAL ENGINEERS SPECIFICATIONS AND DETAILING REQUIREMENTS FOR FURTHER CONSTRUCTION BASED INFORMATION A (INCLUDING APPLICABLE ROCK SIZES).

INTERIORS REMOVED FOR CLARITY

EXISTING FACADES OF STRUCTURE TO BE MAINTAINED AS PER CURRENT - DUE MINIMAL BUDGET PRESSURE CLEANING OF EXISTING WHITE PAINTED MASONRY TO BE RECOMMENDED, WITH THE INSTALLATION OF VARIOUS 'CREEPER' WALLS WHERE STATED WITHIN GREEN-SCAPE LANDSCAPE STRATEGY.

REFER TO PATRONS EXTERIOR DETAIL PLAN FOR FURTHER INFORMATION (A111)

1
A111

REFER TO PATRONS EXTERIOR DETAIL PLAN FOR FURTHER INFORMATION (A112)

2
A112

PROPOSED PAVING TO ENTRANCE TO MATCH SHIRE OF BODDINGTON COMMON MASONRY BRICK PAVING TEMPLATE. PRIOR CONSTRUCTION - PATTEN AND BRICK TEMPLATE TO BE APPROVED BY DESIGNER.

KERB TO MAIN ROADS SPECIFICATIONS

EXISTING SLAB
R.L. 9.95

EXISTING SLAB/
PROPOSED PAVING
R.L. 9.92

EXISTING BITUMEN ON-SITE TO BE MAINTAINED AS PER CURRENT - IN REGIONS OF PROPOSED BITUMEN EXTENSIONS - CONTRACTOR TO ENSURE SUITABLE COLOUR TO MATCH IS ACHIEVED.

EXISTING BITUMEN
R.L. 9.92

EXISTING VEGETATION IN REGIONS DOTTED TO BE REMOVED AND COMPACTED AS PER MAIN ROADS ROAD INSTALLATION SPECIFICATIONS.

ALL PROPOSED LINE MARKING AND DISABLED COMPLIANCE BAYS TO BE COMPLETED BY ROAD AND TRAFFIC SERVICES PTY LTD (DIRECTOR: GUY BARRETT LENNARD).

REGIONS OF UN-WANTED BITUMEN TO BE REMOVED AND REPLACED WITH PLANTED VEGETATION TO SUIT AS PER SHIRE OF BODDINGTONS VEGETATION INSTALLATION PALLETTE.

REFER TO PARKING DETAIL PLAN FOR FURTHER INFORMATION (A113)

1
A113

PROPOSED NEW 150mm WIDE CONCRETE KERB TO BE INSTALLED TO PERIMETER OF PROPOSED PARKING FACILITY TO MATCH STREET FRONTAGE. REFER TO MAIN ROADS REQUIREMENTS FOR FURTHER INSTALLATION INFORMATION.

EXISTING SLAB
R.L. 9.92

EXISTING SLAB/
PROPOSED PAVING
R.L. 9.92

VEHICLE PARK (1)

VEHICLE PARK (2)

VEHICLE PARK (3)

VEHICLE PARK (4)

DISABLED PARK (5)

DISABLED PARK (6)

EXISTING PAVING
R.L. 9.92

LINE OF EXISTING BITUMEN

LINE OF EXISTING BITUMEN

1 **PROPOSED LANDSCAPE PLAN**
1 : 100



DESIGN INTENT STATEMENT.

THE PROPOSED PATRONS EXTERIOR DECKING ARRANGMENT HAS BEEN DESIGNED AND DOCUMENTED TO COMPLIMENT THE NATURAL LANDSCAPE GRADIENT WITH THE USE A GRADUAL FINISH FLOOR LEVEL DECKING DECLINE WHICH VOIDS THE USE OF BALUSTRADES TO ENABLE A TRANSPARENT NATURAL ENVIRONMENT - WHICH CAN ALSO DOUBLE AS A SHIRE OF BODDINGTON AMPHITHEATRE OR GROUNDS OF COMMON MEETING. IN REGARDS TO THE STAIR ENGAGEMENT, THE COMMON STAIRS TO THE NORTH EASTERN CORNER EMPHASIS THE ANGLED NATURE OF THE EXISTING STRUCTURE, WITH THE ADDITION OF DIRECTING ITS OCCUPANTS TO ENJOY THE COMMON NATURAL FIELD LOCATED BEFORE BANNISTER RIVER.

EXISTING GROUND LEVEL BEYOND TO BE MAINTAINED AS PER CURRENT - WITH NIL FURTHER MODIFICATIONS. LAWN TO BE MAINTAINED.

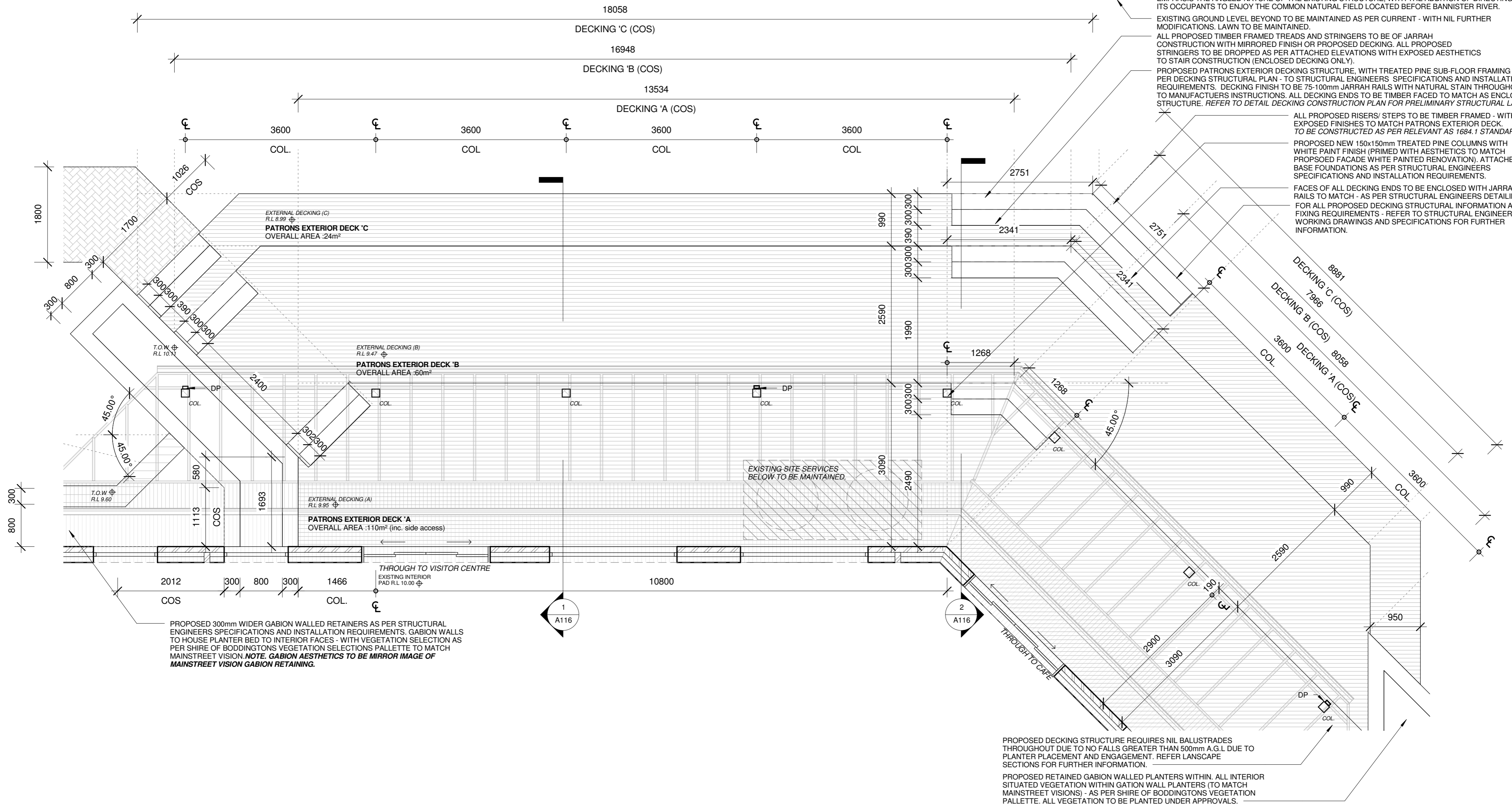
ALL PROPOSED TIMBER FRAMED TREADS AND STRINGERS TO BE OF JARRAH CONSTRUCTION WITH MIRROR FINISH OR PROPOSED DECKING. ALL PROPOSED STRINGERS TO BE DROPPED AS PER ATTACHED ELEVATIONS WITH EXPOSED AESTHETICS TO STAIR CONSTRUCTION (ENCLOSED DECKING ONLY).

PROPOSED PATRONS EXTERIOR DECKING STRUCTURE, WITH TREATED PINE SUB-FLOOR FRAMING AS PER DECKING STRUCTURAL PLAN - TO STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS. DECKING FINISH TO BE 75-100mm JARRAH RAILS WITH NATURAL STAIN THROUGHOUT TO MANUFACTURERS INSTRUCTIONS. ALL DECKING ENDS TO BE TIMBER FACED TO MATCH AS ENCLOSED STRUCTURE. REFER TO DETAIL DECKING CONSTRUCTION PLAN FOR PRELIMINARY STRUCTURAL LAYOUT.

ALL PROPOSED RISERS/ STEPS TO BE TIMBER FRAMED - WITH EXPOSED FINISHES TO MATCH PATRONS EXTERIOR DECK. TO BE CONSTRUCTED AS PER RELEVANT AS 1684.1 STANDARDS.

PROPOSED NEW 150x150mm TREATED PINE COLUMNS WITH WHITE PAINT FINISH (PRIMED WITH AESTHETICS TO MATCH PROPOSED FACADE WHITE PAINTED RENOVATION). ATTACHED BASE FOUNDATIONS AS PER STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

FACES OF ALL DECKING ENDS TO BE ENCLOSED WITH JARRAH RAILS TO MATCH - AS PER STRUCTURAL ENGINEERS DETAILING. FOR ALL PROPOSED DECKING STRUCTURAL INFORMATION AND FIXING REQUIREMENTS - REFER TO STRUCTURAL ENGINEERS WORKING DRAWINGS AND SPECIFICATIONS FOR FURTHER INFORMATION.



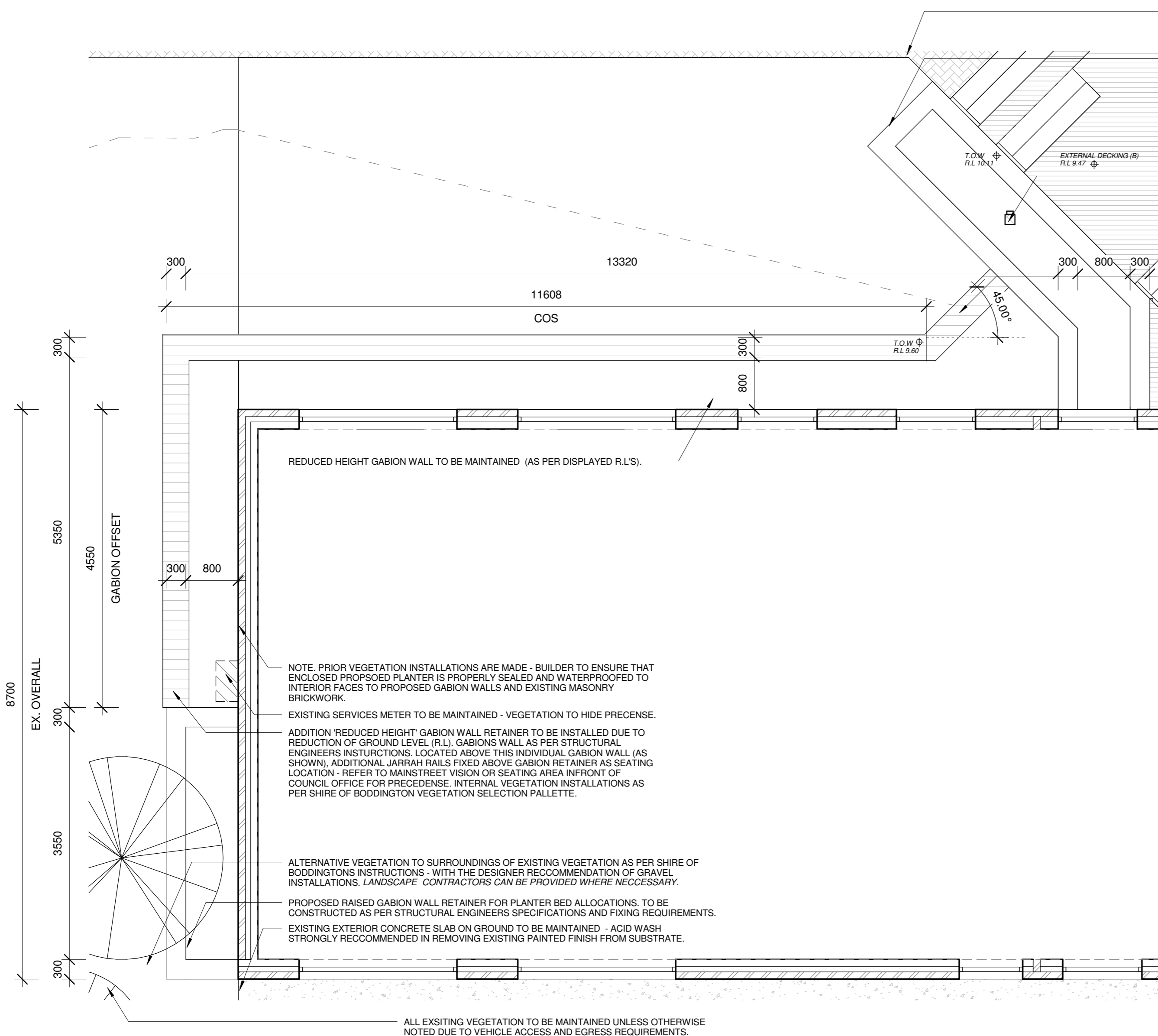
PROPOSED 300mm WIDER GABION WALLED RETAINERS AS PER STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS. GABION WALLS TO HOUSE PLANTER BED TO INTERIOR FACES - WITH VEGETATION SELECTION AS PER SHIRE OF BODDINGTONS VEGETATION SELECTIONS PALLETTE TO MATCH MAINSTREET VISION. **NOTE. GABION AESTHETICS TO BE MIRROR IMAGE OF MAINSTREET VISION GABION RETAINING.**

PROPOSED DECKING STRUCTURE REQUIRES NIL BALUSTRADES THROUGHOUT DUE TO NO FALLS GREATER THAN 500mm A.G.L DUE TO PLANTER PLACEMENT AND ENGAGEMENT. REFER LANSCAPE SECTIONS FOR FURTHER INFORMATION.

PROPOSED RETAINED GABION WALLED PLANTERS WITHIN. ALL INTERIOR SITUATED VEGETATION WITHIN GABION WALL PLANTERS (TO MATCH MAINSTREET VISIONS) - AS PER SHIRE OF BODDINGTONS VEGETATION PALLETTE. ALL VEGETATION TO BE PLANTED UNDER APPROVALS.

1 PROPOSED PATRONS EX. DETAIL
1:50



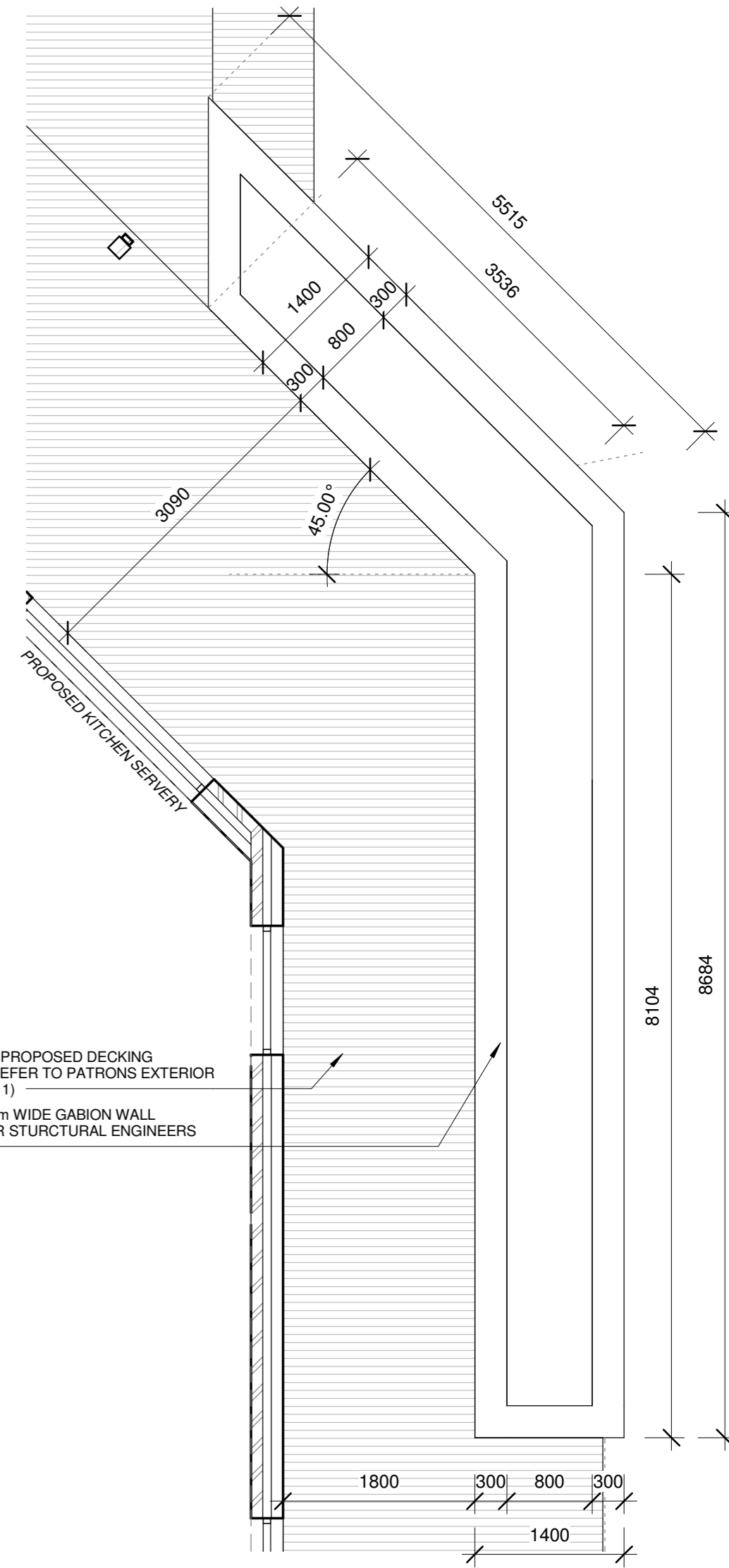


PROPOSED EXTERIOR HARDSCAPING PAVED FLOOR FINISH TO MATCH SHIRE OF BODDINGTON MASONRY TEXTURE AND TEMPLATE.

NOTE. WITH THE ABSENCE OF SITE SURVEY - ALL GROUND LEVEL SITUATED LEVELS (R.L'S) ARE TO BE CHECKED ON SITE DUE TO THEIR ESTIMATED NATURE. BUILDER TO CHECK ON SITE.

PROPOSED END SITUATED 150x150mm TREATED PINE COLUMNS w/ WHITE PAINT FINISH TO MATCH TO BE INSTALLED WITHIN GABION PLANTER ARRANGEMENT. REFER TO STRUCTURAL ENGINEER DOCUMENTATION FOR FURTHER INSTALLATION INFORMATION - BASE OF COLUMNS TO BE WATER PROOFED AS PER RELEVANT STANDARDS.

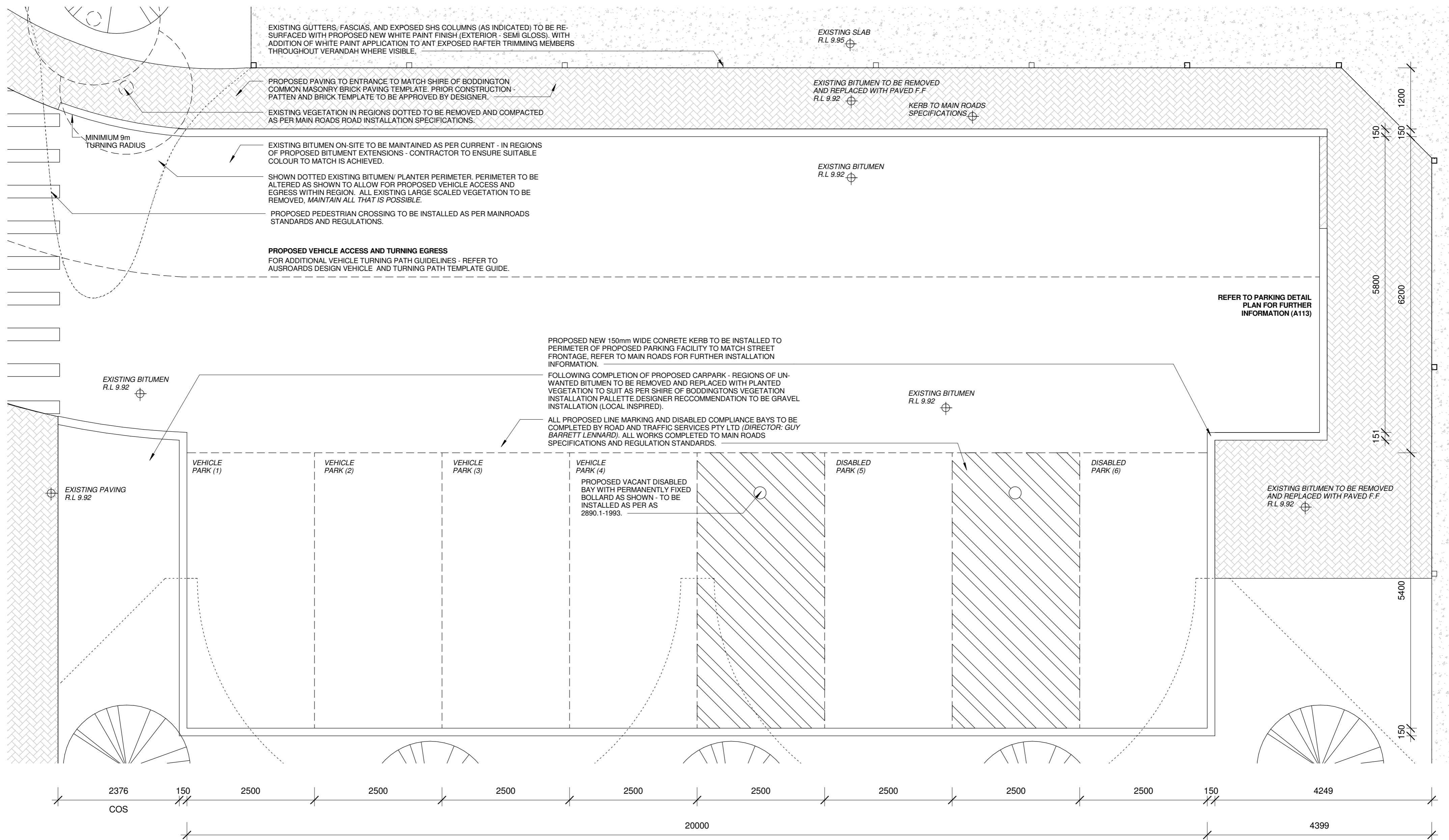
ALTERNATIVE VEGETATION TO SURROUNDINGS OF EXISTING VEGETATION AS PER SHIRE OF BODDINGTONS INSTRUCTIONS - WITH THE DESIGNER RECOMMENDATION OF GRAVEL INSTALLATIONS. LANDSCAPE CONTRACTORS CAN BE PROVIDED WHERE NECESSARY.



1 PROPOSED GABION DETAILING A' 1:50

2 PROPOSED GABION DETAILING B' 1:50

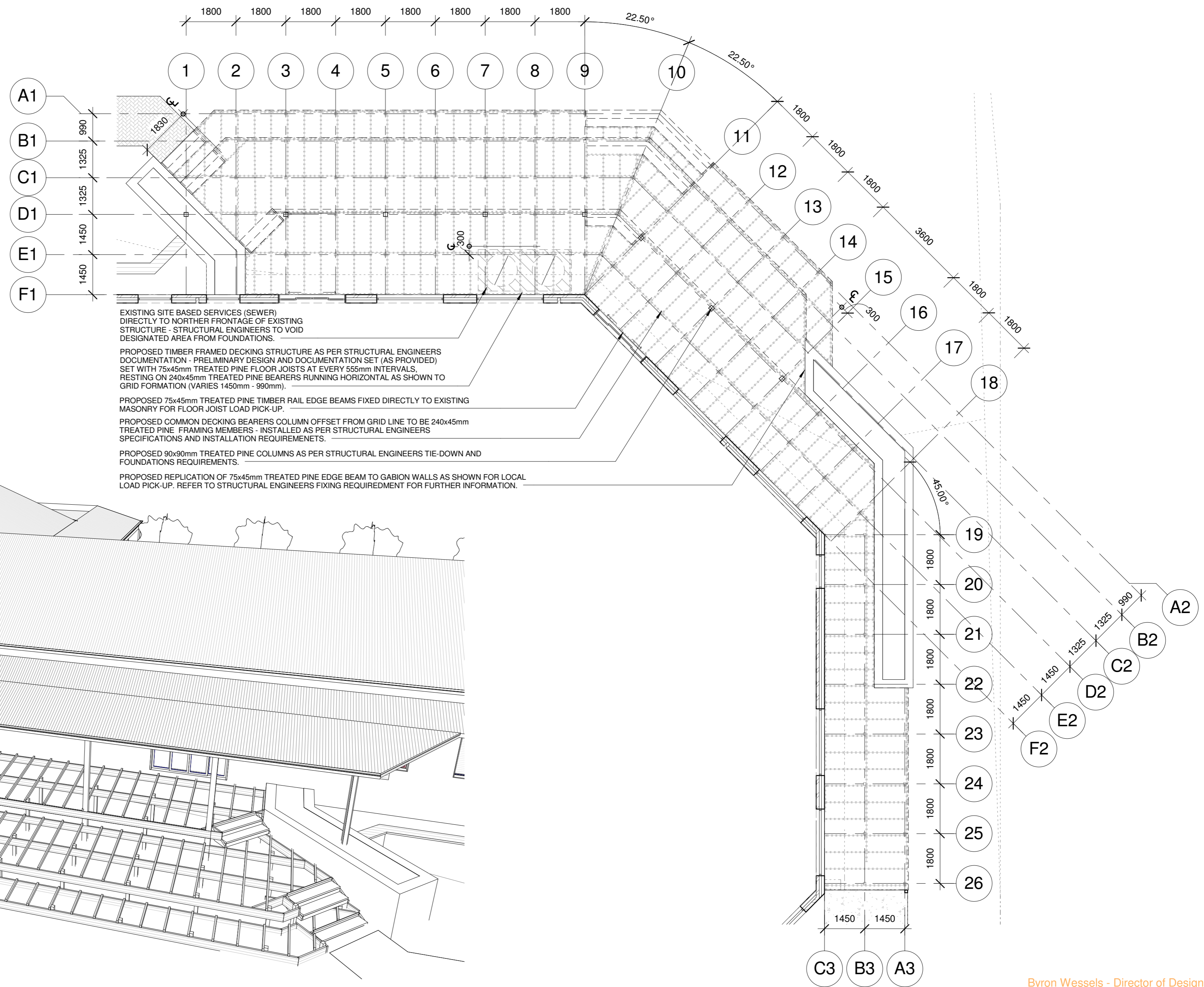




1 PROPOSED REAR PARKING 1:50



1 PROPOSED
GRID STRUCTURAL PLAN
1:100



EXISTING SITE BASED SERVICES (SEWER) DIRECTLY TO NORTHER FRONTAGE OF EXISTING STRUCTURE - STRUCTURAL ENGINEERS TO VOID DESIGNATED AREA FROM FOUNDATIONS.

PROPOSED TIMBER FRAMED DECKING STRUCTURE AS PER STRUCTURAL ENGINEERS DOCUMENTATION - PRELIMINARY DESIGN AND DOCUMENTATION SET (AS PROVIDED) SET WITH 75x45mm TREATED PINE FLOOR JOISTS AT EVERY 555mm INTERVALS, RESTING ON 240x45mm TREATED PINE BEARERS RUNNING HORIZONTAL AS SHOWN TO GRID FORMATION (VARIES 1450mm - 990mm).

PROPOSED 75x45mm TREATED PINE TIMBER RAIL EDGE BEAMS FIXED DIRECTLY TO EXISTING MASONRY FOR FLOOR JOIST LOAD PICK-UP.

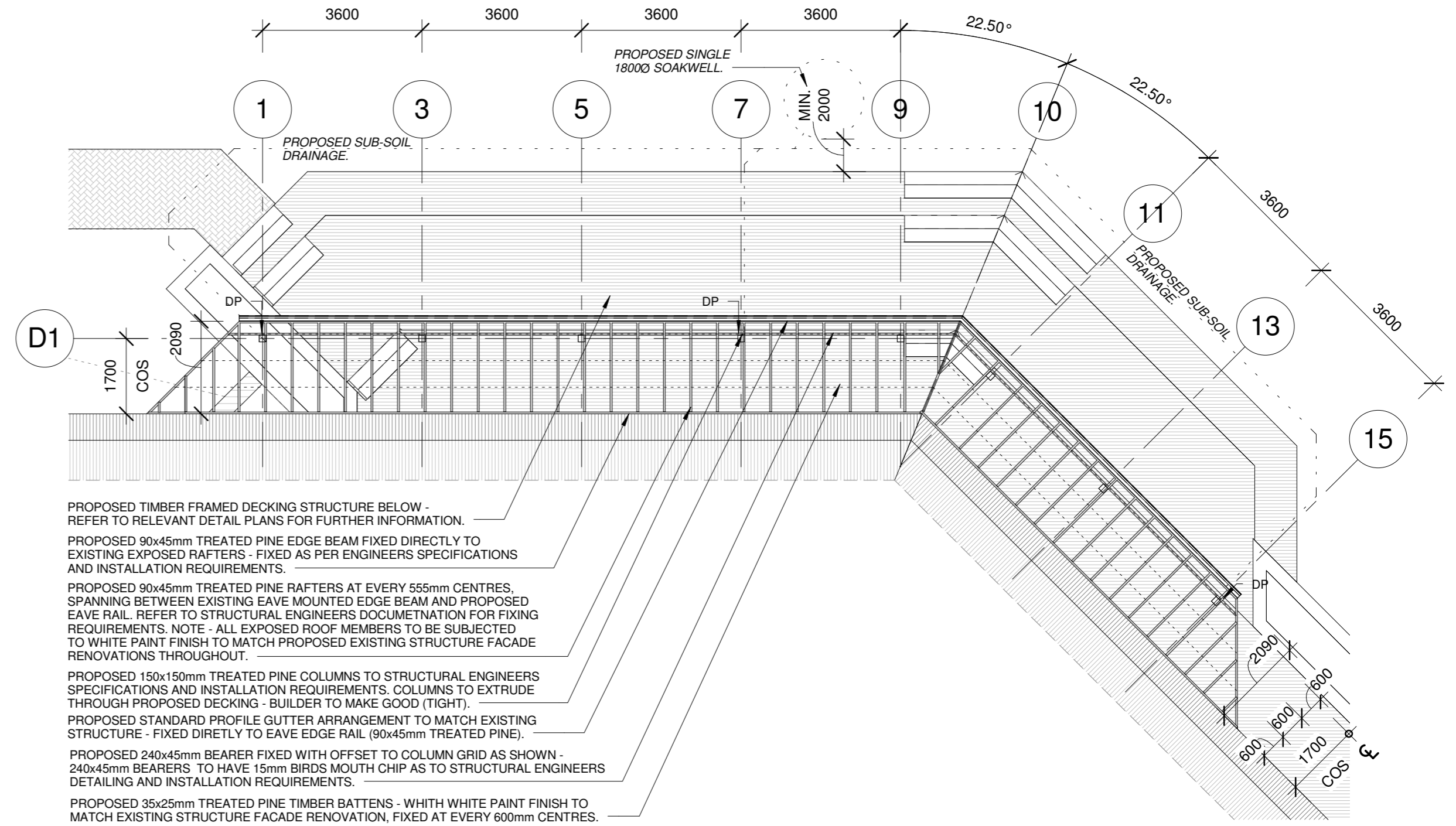
PROPOSED COMMON DECKING BEARERS COLUMN OFFSET FROM GRID LINE TO BE 240x45mm TREATED PINE FRAMING MEMBERS - INSTALLED AS PER STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

PROPOSED 90x90mm TREATED PINE COLUMNS AS PER STRUCTURAL ENGINEERS TIE-DOWN AND FOUNDATIONS REQUIREMENTS.

PROPOSED REPLICATION OF 75x45mm TREATED PINE EDGE BEAM TO GABION WALLS AS SHOWN FOR LOCAL LOAD PICK-UP. REFER TO STRUCTURAL ENGINEERS FIXING REQUIREMENT FOR FURTHER INFORMATION.



1 PROPOSED PATIO DETAIL PLAN
1:100



PROPOSED TIMBER FRAMED DECKING STRUCTURE BELOW - REFER TO RELEVANT DETAIL PLANS FOR FURTHER INFORMATION.

PROPOSED 90x45mm TREATED PINE EDGE BEAM FIXED DIRECTLY TO EXISTING EXPOSED RAFTERS - FIXED AS PER ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

PROPOSED 90x45mm TREATED PINE RAFTERS AT EVERY 555mm CENTRES, SPANNING BETWEEN EXISTING EAVE MOUNTED EDGE BEAM AND PROPOSED EAVE RAIL. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR FIXING REQUIREMENTS. NOTE - ALL EXPOSED ROOF MEMBERS TO BE SUBJECTED TO WHITE PAINT FINISH TO MATCH PROPOSED EXISTING STRUCTURE FACADE RENOVATIONS THROUGHOUT.

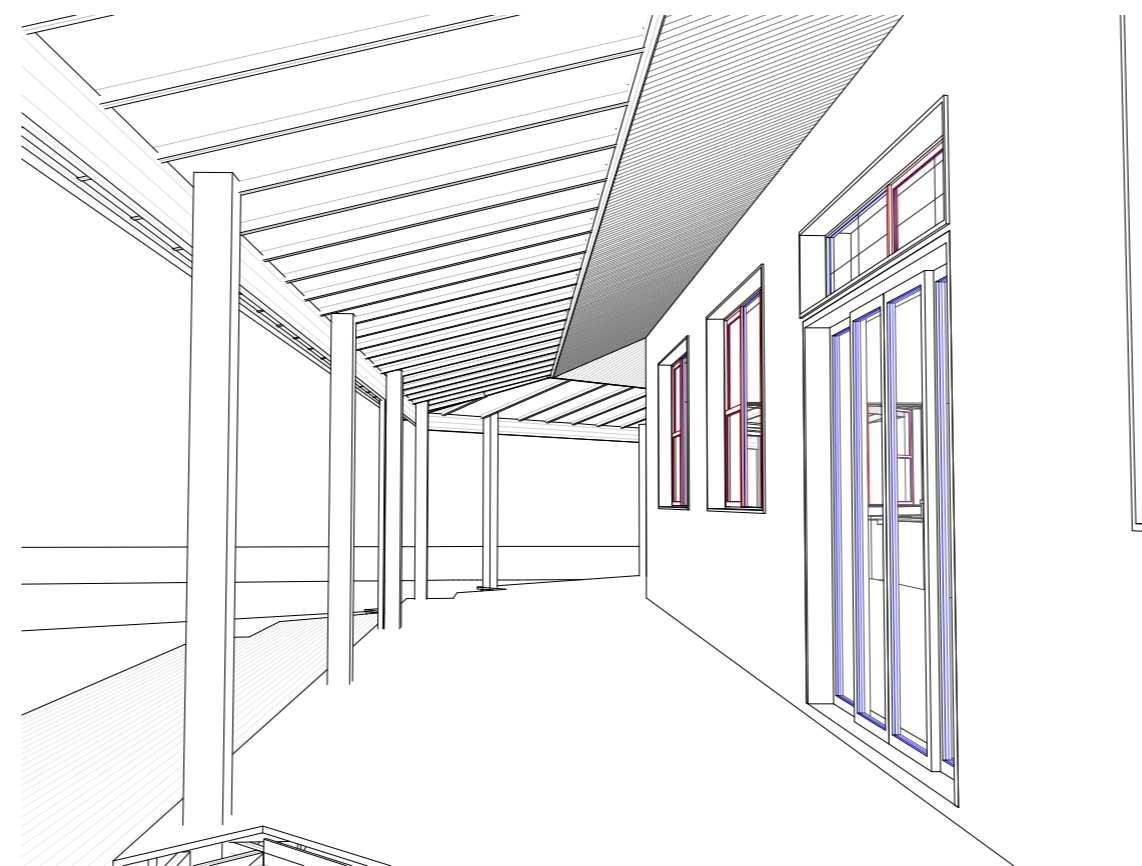
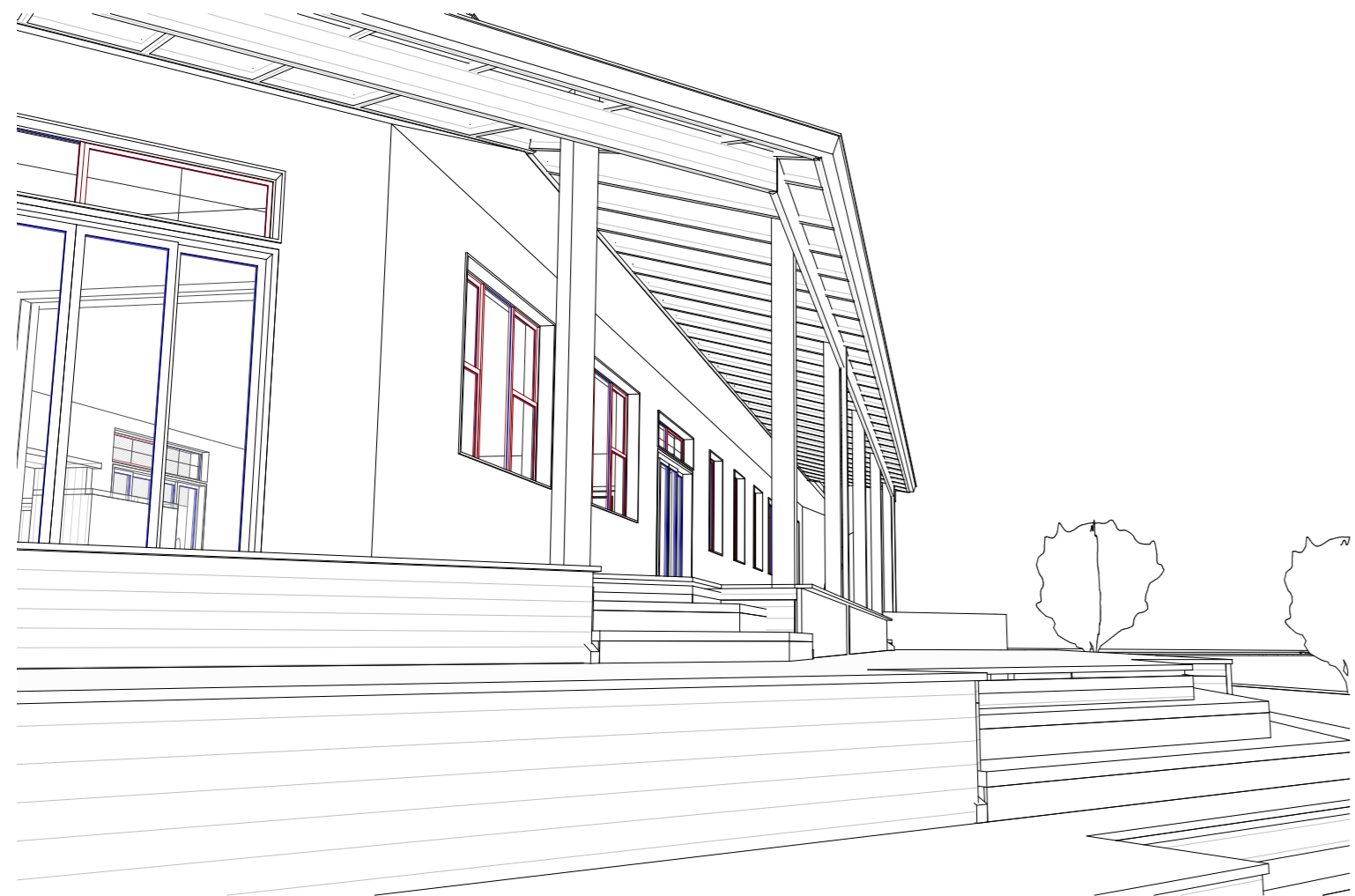
PROPOSED 150x150mm TREATED PINE COLUMNS TO STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS. COLUMNS TO EXTRUDE THROUGH PROPOSED DECKING - BUILDER TO MAKE GOOD (TIGHT).

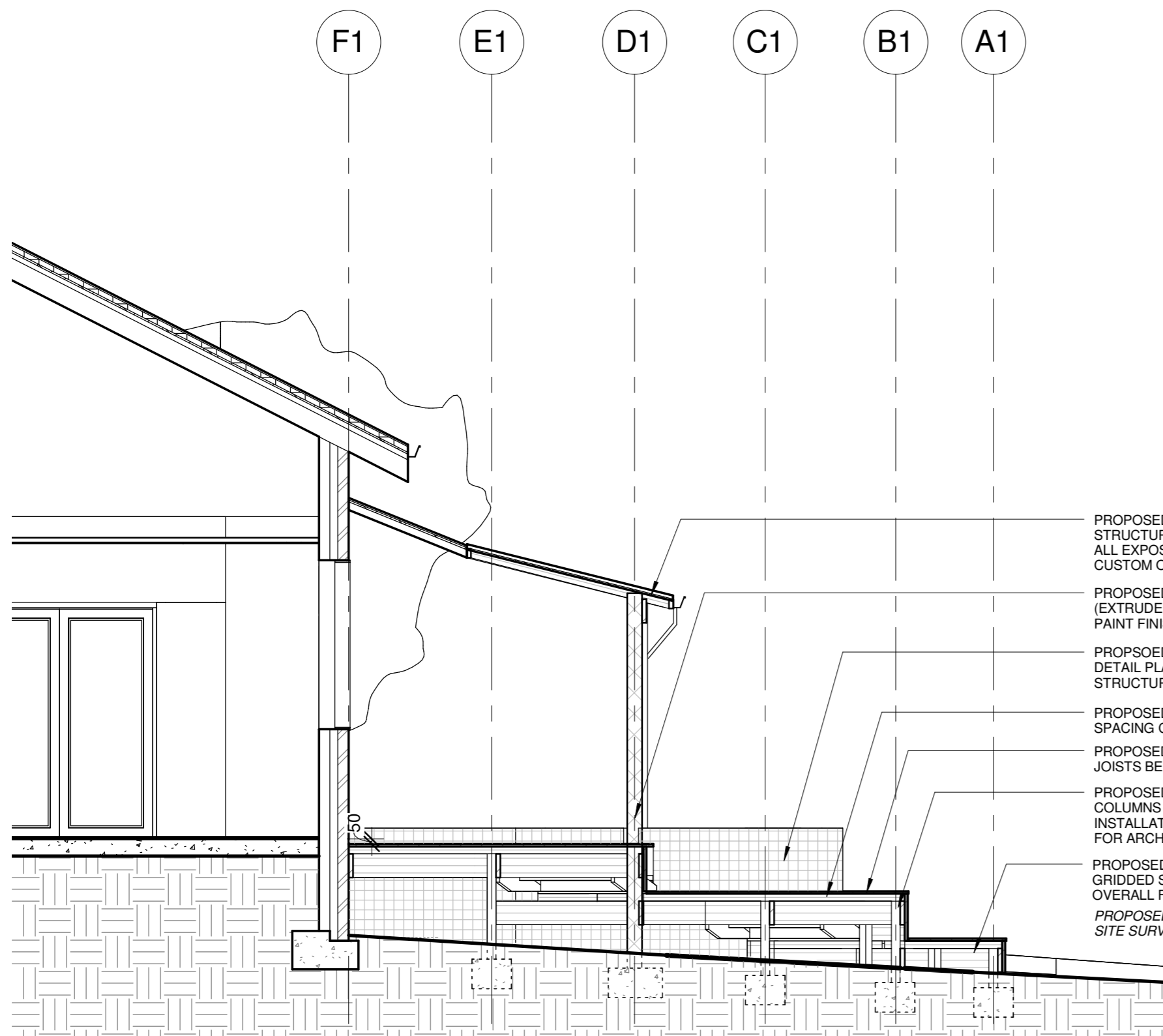
PROPOSED STANDARD PROFILE GUTTER ARRANGEMENT TO MATCH EXISTING STRUCTURE - FIXED DIRECTLY TO EAVE EDGE RAIL (90x45mm TREATED PINE).

PROPOSED 240x45mm BEARER FIXED WITH OFFSET TO COLUMN GRID AS SHOWN - 240x45mm BEARERS TO HAVE 15mm BIRDS MOUTH CHIP AS TO STRUCTURAL ENGINEERS DETAILING AND INSTALLATION REQUIREMENTS.

PROPOSED 35x25mm TREATED PINE TIMBER BATTENS - WITH WHITE PAINT FINISH TO MATCH EXISTING STRUCTURE FACADE RENOVATION, FIXED AT EVERY 600mm CENTRES.

PRIOR CONSTRUCTIONS - BUILDER TO CLARIFY EXISTING DIMENSIONS TO SITE.





PROPOSED TREATED PINE PATIO ROOF STRUCTURE MATCH EXISTING STRUCTURAL MEMEBERS. -WITH WHITE PAINT FINISH THROUGHOUT TO ALL EXPOSED MEMBERS. PROPOSED ROOF FINISH TO BE ZINCULUME CUSTOM ORB SHEETING TO MATCH EXISTING STRUCTURE.

PROPOSED 150x150mm TREATED PINE PATIO ROOF STRUCTURE COLUMNS (EXTRUDED THROUGHOUT F.F.L.) COLUMNS TO BE SUBJECTED TO WHITE PAINT FINISH TO MATCH PROPOSED FACADE RENOVATIONS THROUGHOUT.

PROPOSED 300mm WIDE GABION WALL RETAINERS AS PER RELEVANT DETAIL PLANS (A112). INSTALLATION AND FOUNDATIONS AS TO STRUCTURAL ENGINEERS REQUIREMENTS.

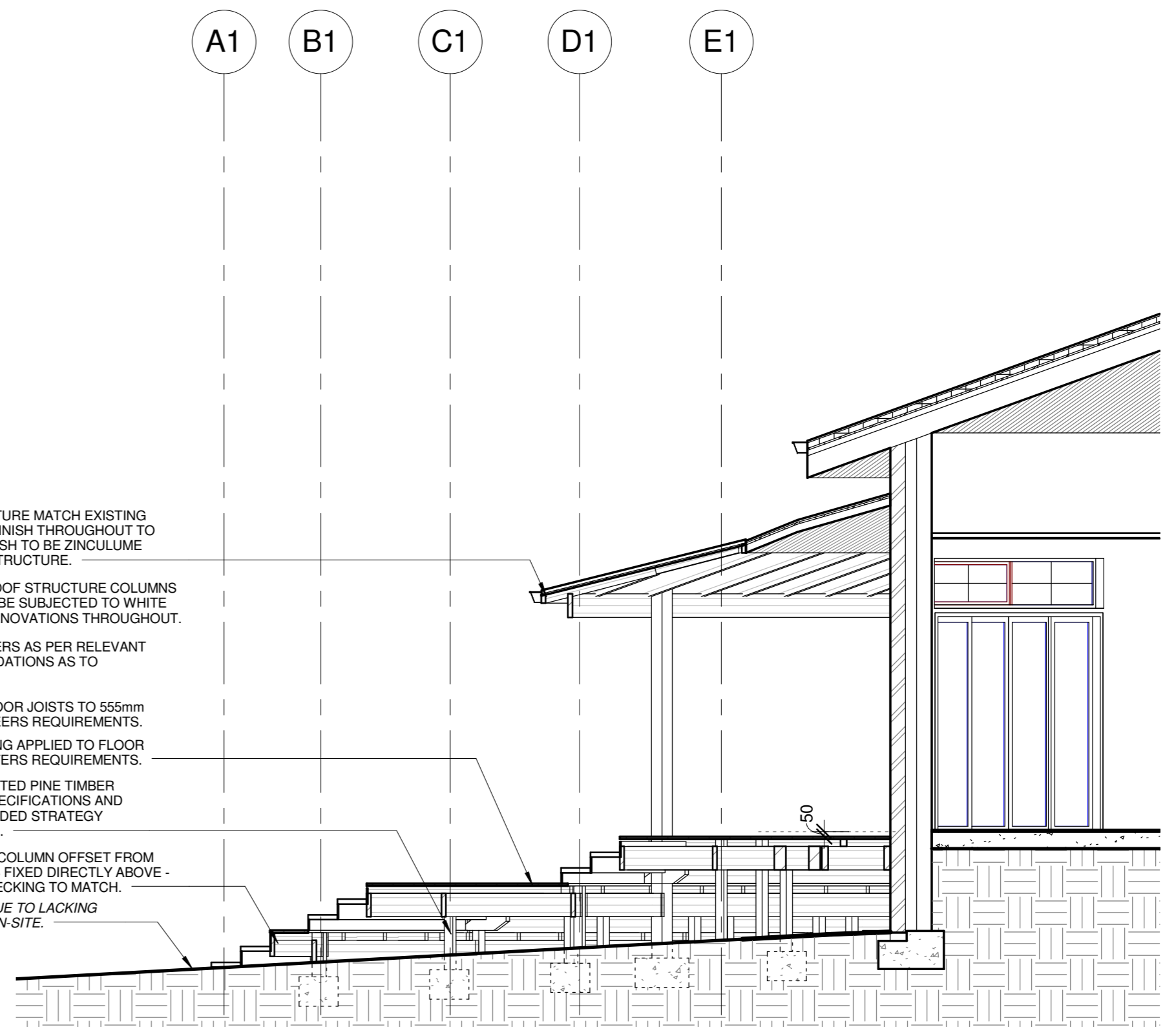
PROPOSED 75x45mm TREATED PINE TIMBER FLOOR JOISTS TO 555mm SPACING CENTRES AS TO STRUCTURAL ENGINEERS REQUIREMENTS.

PROPOSED HARDWOOD JARRAH DECK FLOORING APPLIED TO FLOOR JOISTS BELOW. INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

PROPOSED COMMON (SUB F.F.L.) 90x90mm TREATED PINE TIMBER COLUMNS AS PER STRUCTURAL ENGINEERS SPECIFICATIONS AND INSTALLATION REQUIREMENTS. REFER TO GRIDDED STRATEGY FOR ARCHITECTURAL SPACING REQUIREMENTS.

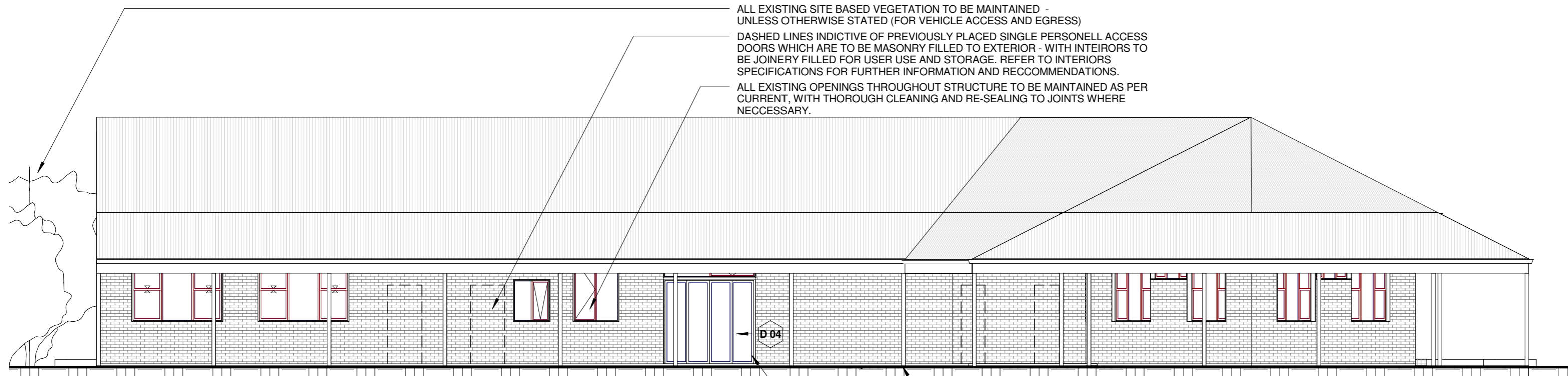
PROPOSED 240x45mm TREATED PINE BEARERS COLUMN OFFSET FROM GRIDDED STRATEGY. PROPOSED FLOOR JOISTS FIXED DIRECTLY ABOVE - OVERALL FACES ENCLOSED AS SHOWN WITH DECKING TO MATCH.

PROPOSED SITE GORUND LEVEL ESTIMATED DUE TO LACKING SITE SURVEY PROVIDED. BUILDER TO CHECK ON-SITE.



1 SECTION A-A
1 : 50

2 SECTION B-B
1 : 50



ALL EXISTING SITE BASED VEGETATION TO BE MAINTAINED - UNLESS OTHERWISE STATED (FOR VEHICLE ACCESS AND EGRESS)

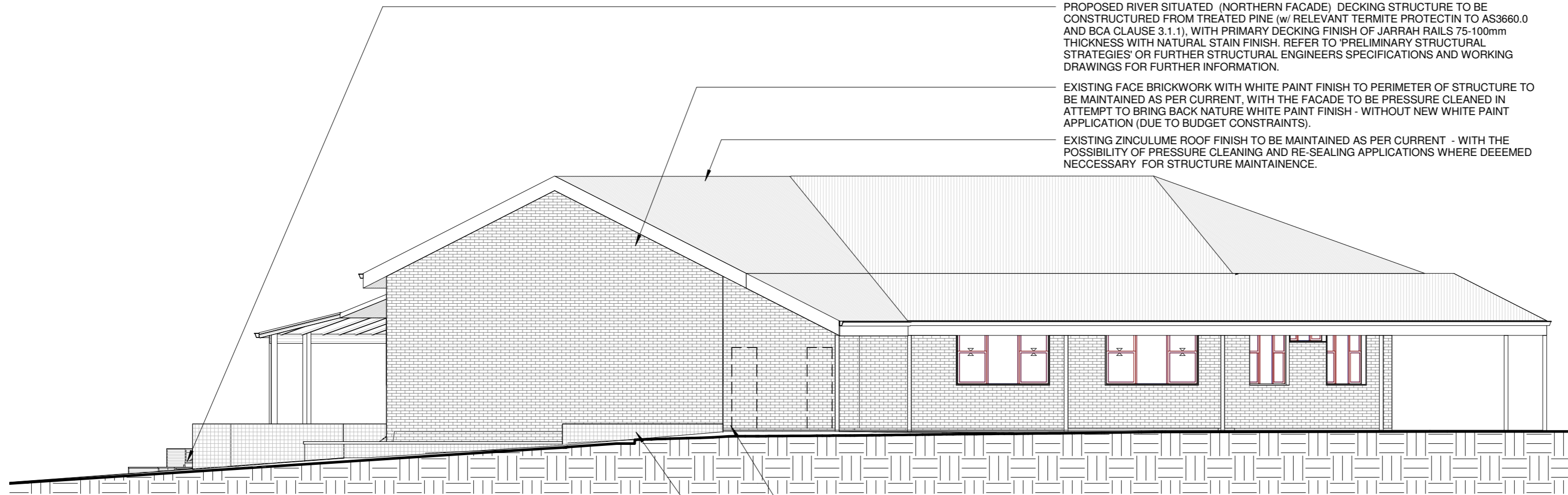
DASHED LINES INDICATIVE OF PREVIOUSLY PLACED SINGLE PERSONELL ACCESS DOORS WHICH ARE TO BE MASONRY FILLED TO EXTERIOR - WITH INTERIORS TO BE JOINERY FILLED FOR USER USE AND STORAGE. REFER TO INTERIORS SPECIFICATIONS FOR FURTHER INFORMATION AND RECCOMENDATIONS.

ALL EXISTING OPENINGS THROUGHOUT STRUCTURE TO BE MAINTAINED AS PER CURRENT, WITH THOROUGH CLEANING AND RE-SEALING TO JOINTS WHERE NECESSARY.

1 PROPOSED SOUTH FACADE
1:100

EXISTING GUTTERS, FASCIAS, AND EXPOSED SHS COLUMNS (AS INDICATED) TO BE RE-SURFACED WITH PROPOSED NEW WHITE PAINT FINISH (EXTERIOR - SEMI GLOSS). WITH ADDITION OF WHITE PAINT APPLICATION TO ANT EXPOSED RAFTER TRIMMING MEMBERS THROUGHOUT VERANDAH WHERE VISIBLE.

PROPOSED NEW SEMI-SLIDER TO BE INSTALLED WITHIN EXISTING MASONRY OPENING. REFER TO PROPOSED DOOR AND WINDOW SCHEDULE FOR FURTHER INFORMATION - INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.



2 PROPOSED WEST FACADE
1:100

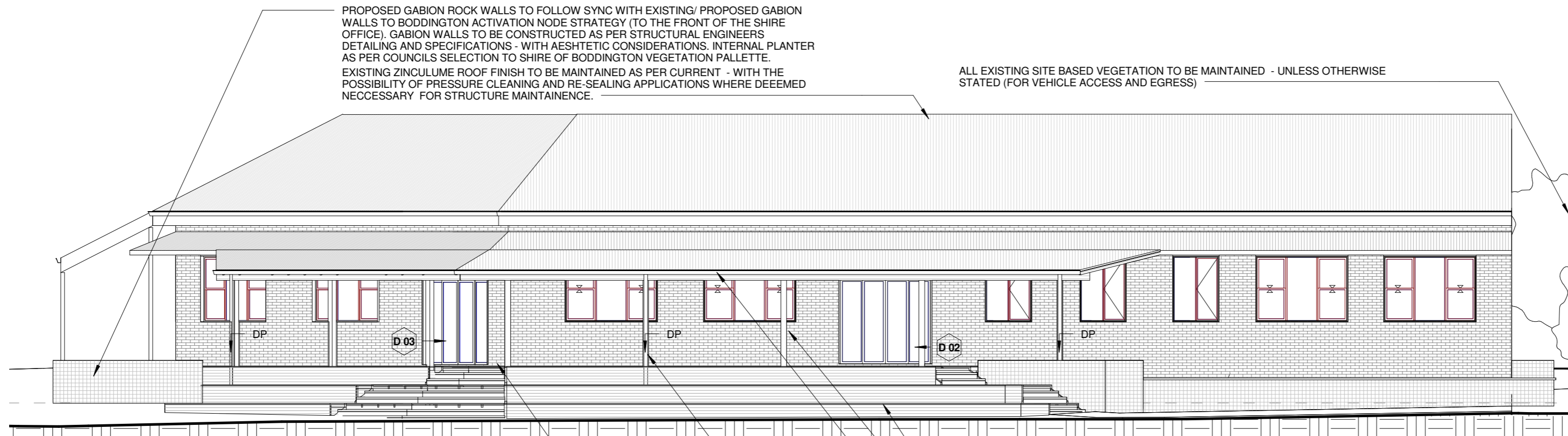
PROPOSED RIVER SITUATED (NORTHERN FACADE) DECKING STRUCTURE TO BE CONSTRUCTURED FROM TREATED PINE (w/ RELEVANT TERMITE PROTECTIN TO AS3660.0 AND BCA CLAUSE 3.1.1), WITH PRIMARY DECKING FINISH OF JARRAH RAILS 75-100mm THICKNESS WITH NATURAL STAIN FINISH. REFER TO 'PRELIMINARY STRUCTURAL STRATEGIES' OR FURTHER STRUCTURAL ENGINEERS SPECIFICATIONS AND WORKING DRAWINGS FOR FURTHER INFORMATION.

EXISTING FACE BRICKWORK WITH WHITE PAINT FINISH TO PERIMETER OF STRUCTURE TO BE MAINTAINED AS PER CURRENT, WITH THE FACADE TO BE PRESSURE CLEANED IN ATTEMPT TO BRING BACK NATURE WHITE PAINT FINISH - WITHOUT NEW WHITE PAINT APPLICATION (DUE TO BUDGET CONSTRAINTS).

EXISTING ZINCULUME ROOF FINISH TO BE MAINTAINED AS PER CURRENT - WITH THE POSSIBILITY OF PRESSURE CLEANING AND RE-SEALING APPLICATIONS WHERE DEEEMED NECESSARY FOR STRUCTURE MAINTAINENCE.

DASHED LINES INDICATIVE OF PREVIOUSLY PLACED SINGLE PERSONELL ACCESS DOORS WHICH ARE TO BE MASONRY FILLED TO EXTERIOR - WITH INTERIORS TO BE JOINERY FILLED FOR USER USE AND STORAGE. REFER TO INTERIORS SPECIFICATIONS FOR FURTHER INFORMATION AND RECCOMENDATIONS.

PROPOSED GABION ROCK WALLS TO FOLLOW SYNC WITH EXISTING/ PROPOSED GABION WALLS TO BODDINGTON ACTIVATION NODE STRATEGY (TO THE FRONT OF THE SHIRE OFFICE). GABION WALLS TO BE CONSTRUCTED AS PER STRUCTURAL ENGINEERS DETAILING AND SPECIFICATIONS - WITH AESHTETIC CONSIDERATIONS.



1 PROPOSED NORTH FACADE
1 : 100

PROPOSED GABION ROCK WALLS TO FOLLOW SYNC WITH EXISTING/ PROPOSED GABION WALLS TO BODDINGTON ACTIVATION NODE STRATEGY (TO THE FRONT OF THE SHIRE OFFICE). GABION WALLS TO BE CONSTRUCTED AS PER STRUCTURAL ENGINEERS DETAILING AND SPECIFICATIONS - WITH AESTHETIC CONSIDERATIONS. INTERNAL PLANTER AS PER COUNCILS SELECTION TO SHIRE OF BODDINGTON VEGETATION PALLETTE. EXISTING ZINCULUME ROOF FINISH TO BE MAINTAINED AS PER CURRENT - WITH THE POSSIBILITY OF PRESSURE CLEANING AND RE-SEALING APPLICATIONS WHERE DEEEMED NECESSARY FOR STRUCTURE MAINTAINENCE.

ALL EXISTING SITE BASED VEGETATION TO BE MAINTAINED - UNLESS OTHERWISE STATED (FOR VEHICLE ACCESS AND EGRESS)

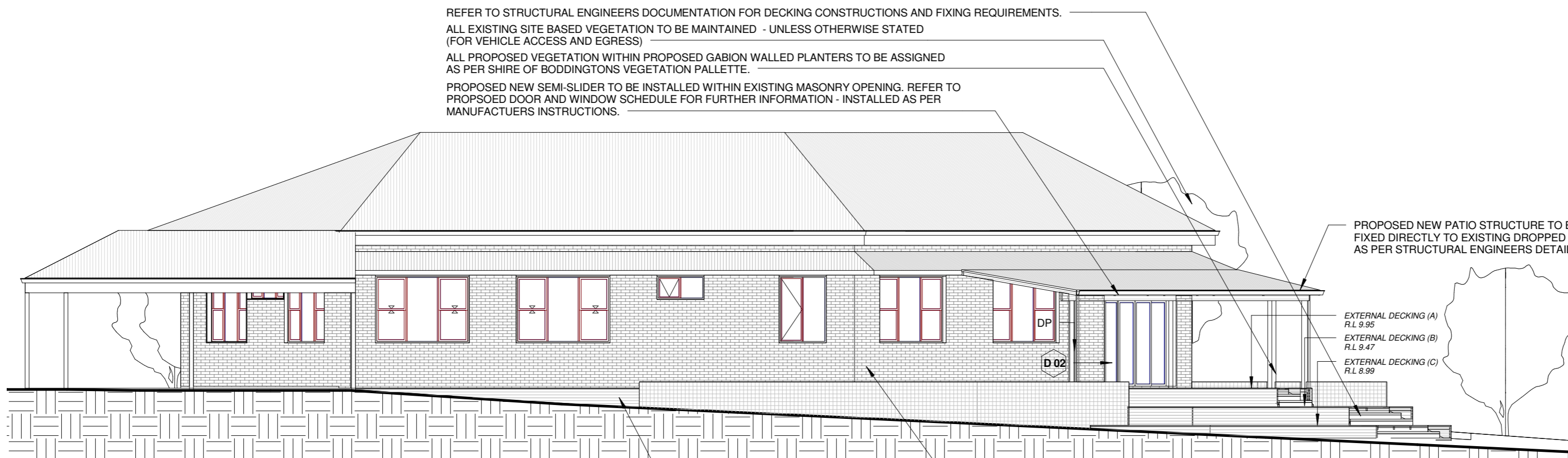
PROPOSED RIVER SITUATED (NORTHERN FACADE) DECKING STRUCTURE TO BE CONSTRUCTURED FROM TREATED PINE (w/ RELEVANT TERMITE PROTECTIN TO AS3660.0 AND BCA CLAUSE 3.1.1), WITH PRIMARY DECKING FINISH OF JARRAH RAILS 75-100mm THICKNESS WITH NATURAL STAIN FINISH. REFER TO 'STRUCTURAL STRATEGIES' OR FURTHER STRUCTURAL ENGINEERS SPECIFICATIONS AND WORKING DRAWINGS FOR FURTHER INFORMATION.

MAINTAINED EXISTING OPENINGS THROUGHOUT STRUCTURE TO BE THOROUGHLY CLEANED AND RE-SEALED WHERE NECESSARY. TO BE COMPLETED BY PRESCRIBED BUILDING CONTRACTOR.

EXISTING GUTTERS, FASCIAS, AND EXPOSED SHS COLUMNS (AS INDICATED) TO BE RE-SURFACED WITH PROPOSED NEW WHITE PAINT FINISH (EXTERIOR - SEMI GLOSS), WITH ADDITION OF WHITE PAINT APPLICATION TO ANY EXPOSED RAFTER TRIMMING MEMBERS THROUGHOUT VERANDAH WHERE VISIBLE.

PROPOSED NEW PATIO STRUCTURE FIXED DIRECTLY TO DROPPED EAVE. AESTHETICS TO BE SUBJECTED TO WHITE PAINT FINISH TO MATCH RENOVATION. ALL STRUCTURAL MEMBERS AS PER ENGINEERS WORKING DRAWINGS.

PROPOSED PATRONS EXTERIOR STEPS TO MATCH DECKING FINISH THROUGHOUT - WITH SUNKED STRINGER ATTACHED AS SHOWN. TO BE CONSTRUCTED AS PER BCA 3.9.1-3.9.2., AND AS 1657-4.3.1.



2 PROPOSED EAST FACADE
1 : 100

REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR DECKING CONSTRUCTIONS AND FIXING REQUIREMENTS.

ALL EXISTING SITE BASED VEGETATION TO BE MAINTAINED - UNLESS OTHERWISE STATED (FOR VEHICLE ACCESS AND EGRESS)

ALL PROPOSED VEGETATION WITHIN PROPOSED GABION WALLED PLANTERS TO BE ASSIGNED AS PER SHIRE OF BODDINGTONS VEGETATION PALLETTE.

PROPOSED NEW SEMI-SLIDER TO BE INSTALLED WITHIN EXISTING MASONRY OPENING. REFER TO PROPOSED DOOR AND WINDOW SCHEDULE FOR FURTHER INFORMATION - INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.

PROPOSED NEW PATIO STRUCTURE TO BE FIXED DIRECTLY TO EXISTING DROPPED EAVE - AS PER STRUCTURAL ENGINEERS DETAILING.

EXTERNAL DECKING (A)
RL 9.95
EXTERNAL DECKING (B)
RL 9.47
EXTERNAL DECKING (C)
RL 8.99

EXISTING FACE BRICKWORK WITH WHITE PAINT FINISH TO PERIMETER OF STRUCTURE TO BE MAINTAINED AS PER CURRENT, WITH THE FACADE TO BE PRESSURE CLEANED IN ATTEMPT TO BRING BACK NATURE WHITE PAINT FINISH - WITHOUT NEW WHITE PAINT APPLICATION (DUE TO BUDGET CONSTRAINTS).

PROPOSED TREATED PINE DECK TO EXTEND FLUSH WITH EXISTING CONCRETE SLAB ON GROUND - AS PER DETAIL PLANS. GABION WALL AS SHOWN, NOT TO REDUCE/ STOP UNTIL DECK IS DEEMED LOWER THAN 500mm A.G.L FOR BALUSTRADE PURPOSES.

PRELIMINARY ISSUE (TBC)

PROPOSED DOOR AND WINDOW SCHEDULE

